

NEW LIFESTYLE LOTS AVAILABLE



LIFESTYLE, LOCATION & DESIGN

- Close proximity with easy access to Shepparton CBD (5 km)
- Generous lot sizes
- Limited boutique lifestyle allotments offering a country lifestyle within close proximity to the CBD.
- Landscaped streetscapes and reserves.

SELLING AGENT

Gagliardi Scott Real Estate
Rocky Gagliardi
M. 0407826542
www.gagliardiscott.com.au



Apple Blossom
ESTATE

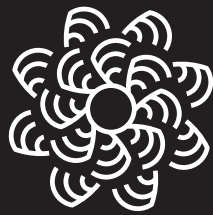
LOT	SIZE
1	2244 m ²
2	2241 m ²
3	2136 m ²
4	2036 m ²
5	2006 m ²
6	2006 m ²
7	2006 m ²
8	2010 m ²
9	2293 m ²
10	2411 m ²
11	2129 m ²
12	2055 m ²
13	2058 m ²
14	2005 m ²
15	2005 m ²
16	2005 m ²
17	2065 m ²
18	2096 m ²



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Apple Blossom
E S T A T E

DESIGN COVENANT

COVENANT TO BE INSERTED IN TRANSFER

1 HOSIE ROAD, SHEPPARTON EAST (APPLE BLOSSOM ESTATE)

AND the Transferee with the intention that the benefit of this Covenant shall be attached to and run at law and in equity with every Lot on Plan of Subdivision No. (the Plan) other than the Lot hereby transferred (the burdened land) and that the burden of this Covenant shall be annexed to and run at law and in equity with the burdened land does hereby for himself, his heirs, executors, administrators and transferees, and as a separate Covenant covenants with the Transferor and the registered proprietor or proprietors for the time being of every Lot on the Plan and every part or parts thereof other than the burdened land hereby transferred, that the Transferee, his heirs, executors, administrators and transferees shall not at any time hereafter:

Quick Reference Summary of Covenant Restrictions

CLAUSE	TOPIC	KEY REQUIREMENT / LIMIT
1 (a)	Dwelling size & materials	Min. 200m ² internal floor area. External walls: brick, stone, glass or similar;
1 (b)	New materials only	All buildings must be constructed from new materials. No relocated or pre-built structures permitted.
1 (c)	Garages/outbuildings	Max. height 5.5m. Total aggregate floor area 150m ² . Materials: brick or Colourbond only.
1 (d)	Concurrent construction	Garage/outbuilding construction must within 2 years of the dwelling being built.
1 (e)	Religious & Function Centre Buildings	No church, hall or building for religious worship or function centre events permitted.
1 (f)	Setbacks – detached structures	Detached garage/outbuilding must be ³ 15m from any road boundary, or behind the dwelling's front building line (whichever is greater).
1 (g)	Animals	No goats, pigs, horses, cattle, sheep, roosters, greyhounds or pigeons. Max: 2 dogs, 2 cats, 6 chickens.
1 (h)	Fencing	Permitted types only: farm-type treated timber post-and-wire, ring lock, or Colourbond-style approved fencing.
2	Commercial activity	No commercial or business activities are allowed without prior written approval of the responsible authority.
3	Heavy vehicles	No use as a transport or bus depot. No parking/storing of articulated vehicles or heavy vehicles (as defined in the Road Safety Act).
4	Motorbikes	No recreational riding of motorbikes or similar vehicles on the land.
5	Habitation of outbuildings	No shed, outbuilding, motor home, caravan, trailer or tent may be used for living or residential accommodation.
6	Subdivision	The burdened land must not be subdivided.

FULL COVENANT TEXT



1. On the burdened land or any part or parts thereof:
 - (a) build, construct or erect or cause to be built, constructed or erected any building other than one private dwelling house having an area of not less than 200 square metres within the outer walls thereof (such area to be calculated by excluding the area of carport, garage, terraces, pergola or verandah) together with the usual garages and outbuildings, and such dwelling house shall have external walls of brick, stone or similar materials or glass and incorporating the use of timber provided that such timber used shall not exceed twenty-five percent of the total external wall area, but not including normal timber.
 - (b) build, construct or erect or cause to be built, constructed or erected any buildings which are not constructed entirely from new materials nor move onto the said land any building which has previously been wholly or partly completed nor any part thereof.
 - (c) construct or erect or cause or permit to be built, constructed or erected any garage or outbuilding having a height greater than 5.5 metres which together have a total aggregate floor area greater than 250 square metres provided that in calculating such total aggregate area of 150 square metres:
 - (i) the floor area of any garage which is incorporated as an integral part of the structure of a dwelling house constructed on the burdened land shall be ignored; and
 - (ii) the floor area of any normal residential outbuilding with a floor area not exceeding 10 square metres shall be ignored; and further provided that nothing herein contained shall be construed as limiting the height of any garage which is incorporated as an integral part of the structure of a dwelling house constructed on the burdened land and further provided that any such garage or outbuilding shall be constructed of materials comprising only brick or Colourbond.
 - (d) build, construct or erect or cause or permit to be built, constructed or erected any Church, hall or other building which could be used for the purposes of religious worship or function events.
 - (e) build, construct or erect or cause to be built, constructed or erected any detached garage or outbuilding either:
 - (i) within 15 metres of any road boundary of the burdened land; or
 - (ii) closer to any road boundary of the burdened land than the front building line of the dwelling on the burdened land, whichever shall be the greater distance from any road boundary of the burdened land.
 - (f) keep or allow to be kept thereon any goats, pigs, horses, cattle, sheep, roosters, greyhounds, pigeons or more than two dogs, two cats or six chickens.
 - (g) build, construct or erect or cause to be built, constructed or erected on any boundary thereof or within the boundaries thereof any fence other than
 - (i) a "farm type" treated timber post and wire fence or treated timber post and wire ring lock fence,
2. Carry on any commercial or business activities on the burdened land or install thereon any plant or material connected without the prior approval and consent of the Responsible Authority.
3. Use or suffer or permit the burdened land or any part thereof to be used as a transport depot or bus depot or any purpose ancillary thereto, or for the purpose of parking, storing or garaging thereon any articulated motor car or any heavy vehicle as defined in the Road Safety Act or the regulations there to.
4. Use or permit the burdened land to be used for the recreational riding of motorbikes or similar vehicles.
5. Use or permit to be used any shed or other outbuilding erected on the burdened land or any motor home, trailer, caravan, tent or other movable accommodation or room thereon for living or residential accommodation.
6. Subdivide the burdened land.

PROVIDED always that the Transferor reserves the right to release, vary, add to or modify these Covenants in relation to other land of the Transferor including other land in the said Plan of Subdivision.

AND IT IS HEREBY AGREED that the benefit of the foregoing covenant shall be attached to and run at law and in equity with the land comprised in the said Plan of Subdivision other than the land hereby transferred and the burden thereof shall be attached to and run at law and in equity with the land hereby transferred and shall be noted and appear on every future Certificate of Title for the land hereby transferred and every part thereof as an encumbrance affecting the same and every part thereof.



Quick Reference Summary of Covenant Restrictions

	LOTS UNDER 4,000M ²
Max. height (garage/outbuilding)	5.5m
Max. aggregate floor area	250m ²
Integral garage floor area excluded?	Yes
Small outbuilding (≤ 10 m ²) excluded?	Yes
Permitted materials	Brick or Colourbond
Road setback (detached structures)	≥ 15m or behind dwelling front line

Permitted Animals – Clause 1 (h)

PERMITTED	MAXIMUM NUMBER	PROHIBITED ANIMALS
Dogs	2	Goats, pigs, horses, cattle, sheep
Cats	2	Roosters, greyhounds, pigeons
Chickens	6	Any animal not listed as permitted

All proposed homes/outbuilding plans must be submitted to and approved by the developer of the land (Windrock Properties) prior to the issue of a Building Permit. The relevant email address to submit to is info@windrockgroup.com.au




WINDROCK GROUP
ABN 24 611 703 336

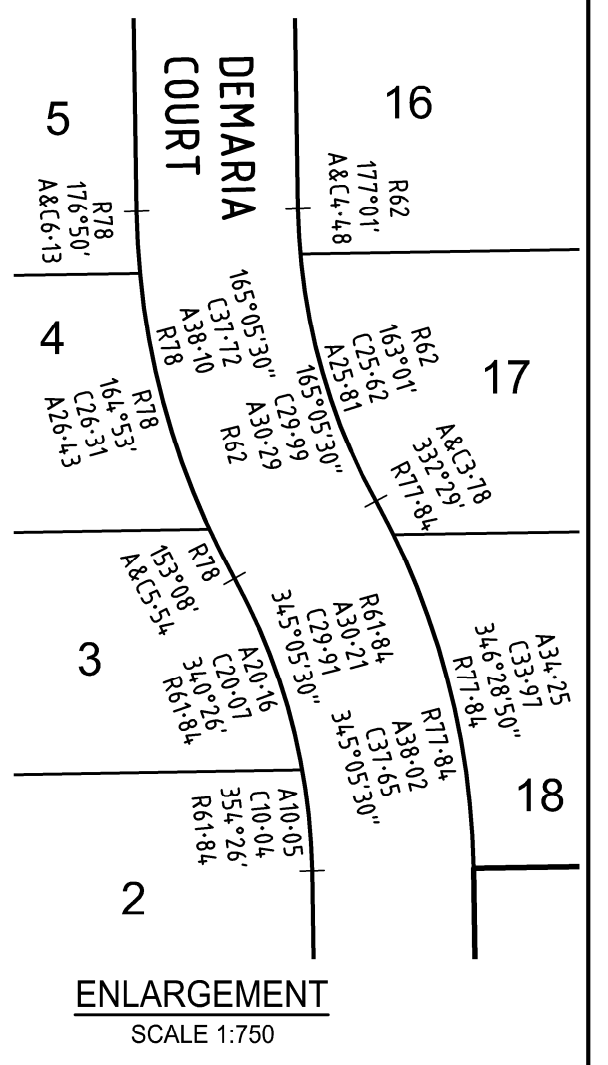
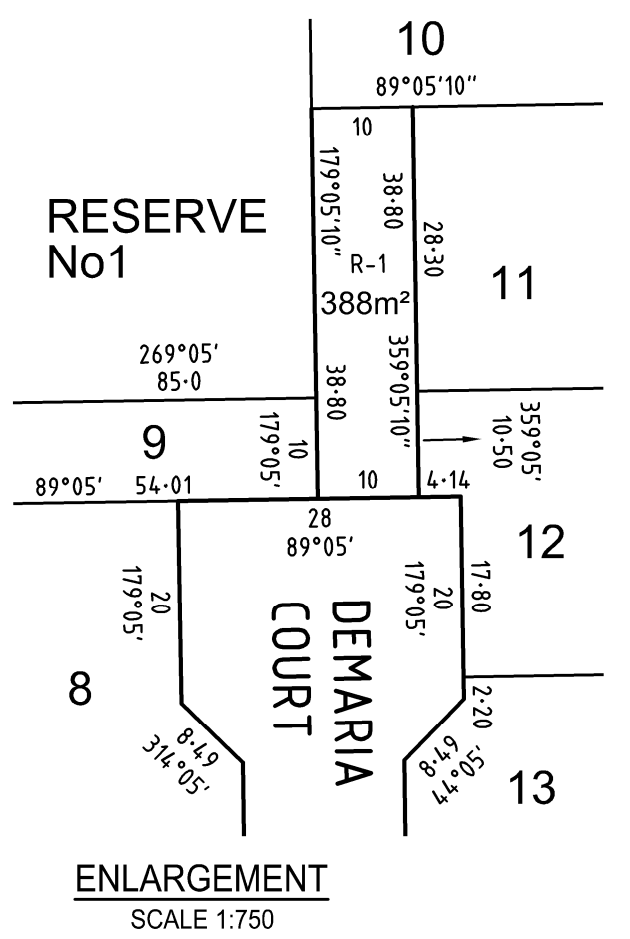
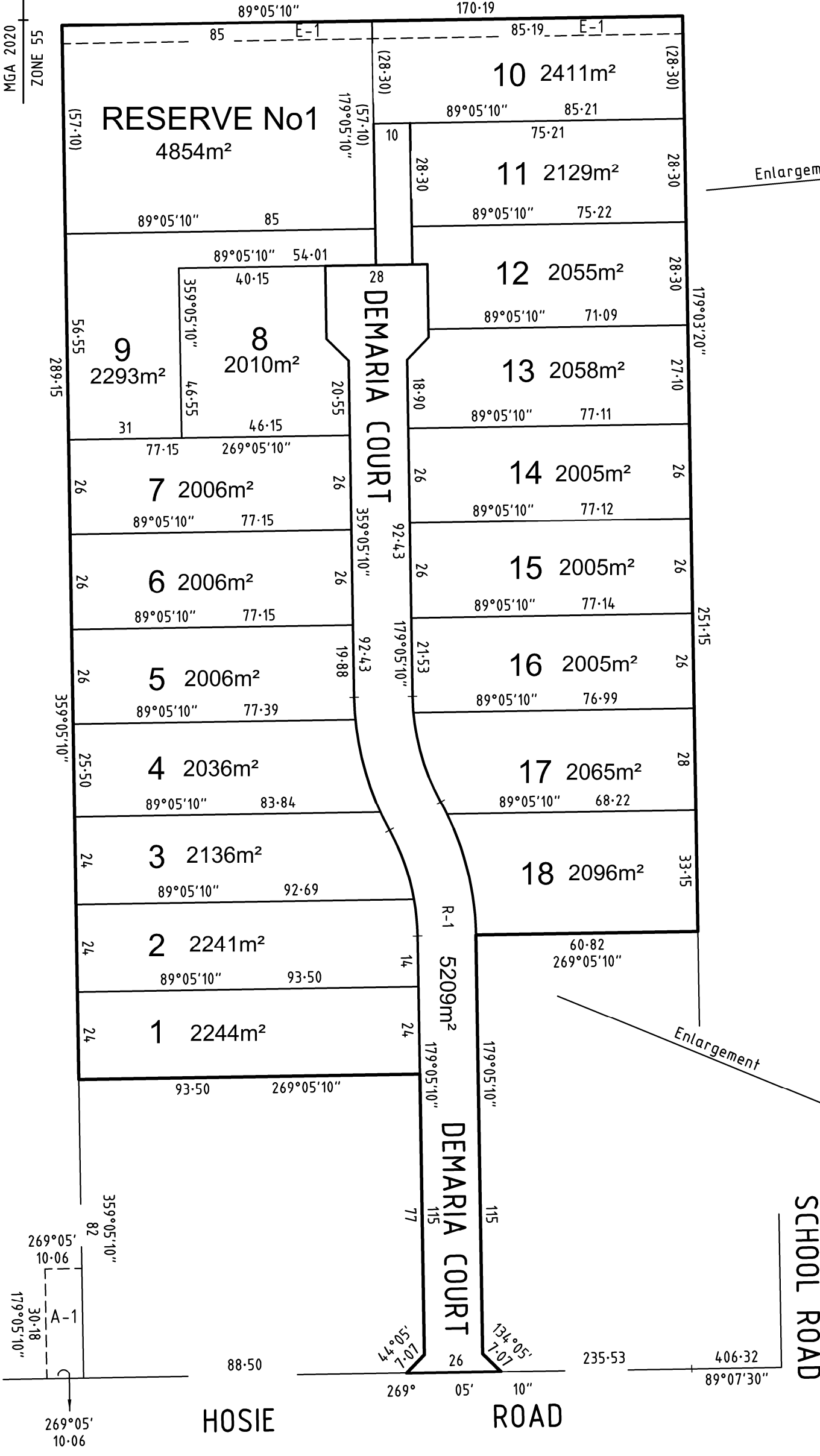
4/58 Willandra Dr, Epping VIC 3076
E. info@windrockgroup.com.au T. (03) 9424 9553

Property: 1 Hosie Road, Shepparton East



PLAN OF SUBDIVISION		EDITION 1	PS933606J	
LOCATION OF LAND PARISH: SHEPPARTON TOWNSHIP: - SECTION: - CROWN ALLOTMENT: 51A (PART) CROWN PORTION: - TITLE REFERENCE: C/T VOL 12539 FOL 938 LAST PLAN REFERENCE: PS911213D, LOT A POSTAL ADDRESS: 1A HOSIE ROAD (at time of subdivision) EAST SHEPPARTON, 3631 MGA 2020 CO-ORDINATES: E: 363 000 ZONE: 55 (of approx centre of land in plan) N: 5 970 900				
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL / BODY / PERSON	Land being subdivided is enclosed within thick continuous lines For details of Restrictions see Sheet 3 <u>Other purpose of this plan</u> To remove Carriageway Easement created in PS911213D, that lies within this R-1 in this plan by direction of permit 2025-46. To remove Water Supply (through underground pipes) Easement created in PS911213D, that lies within this R-1 in this plan by direction of permit 2025-46.		
ROAD R-1 RESERVE No. 1	GREATER SHEPPARTON CITY COUNCIL GREATER SHEPPARTON CITY COUNCIL			
NOTATIONS				
DEPTH LIMITATION : DOES NOT APPLY				
SURVEY: This plan is based on survey STAGING: This is not a staged subdivision Planning Permit No. 2025-46 This survey has been connected to permanent marks No(s). 609, 697 In Proclaimed Survey Area No. -				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
A-1	CARRIAGEWAY	10.06	INSTRUMENT 1768607	C/T VOL6453 FOL454
E-1	DRAINAGE	5	PS911213D	GOULBURN MURRAY RURAL WATER CORPORATION
AREA OF STAGE - 4.82ha				
 144 Welsford Street PO Box 926 Shepparton Vic 3632 T 61 3 5849 1000 spiire.com.au		SURVEYORS FILE REF: 322906SV00		ORIGINAL SHEET SIZE: A3
		Licensed Surveyor: Mark Christopher Sargent Version: 1		SHEET 1 OF 3

MGA 2020
ZONE 55



SURVEYOR'S FILE REF: 322906SV00

SCALE 1:1250

12.5 0 12.5 25 37.5 50

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

SHEET 2



144 Welsford Street
PO Box 926
Shepparton Vic 3632
T 61 3 5849 1000
spiire.com.au

Licensed Surveyor: Mark Christopher Sargent
Version: 1

CREATION OF RESTRICTION No. 1

PS933606J

The following restriction is to be created upon registration of this plan:

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

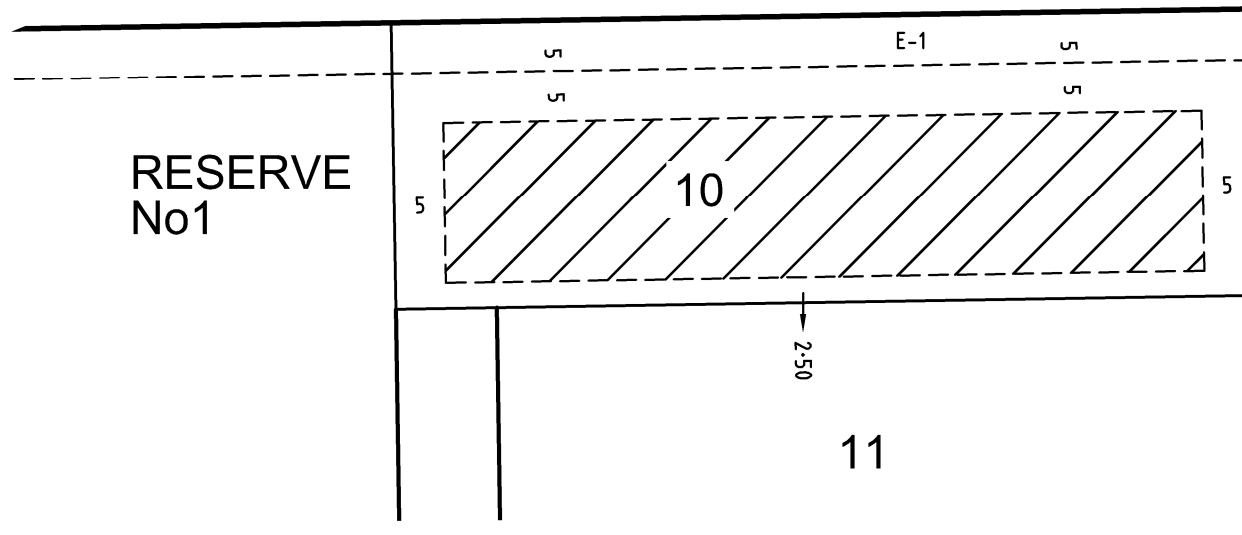
Burdened Land: Lot 10 on this plan
Benefited Land: Lot 10 on this plan

Restriction:

The burdened land must not construct a habitable dwelling or effluent disposal system outside the area shown below as hatched, unless with the written consent of the Greater Shepparton City Council.

Expiry Date:

The Restriction shall expire 30 years after the date of registration of this plan.



RESTRICTION 1
SCALE 1:750

CREATION OF RESTRICTION No. 2

The following restriction is to be created upon registration of this plan:

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

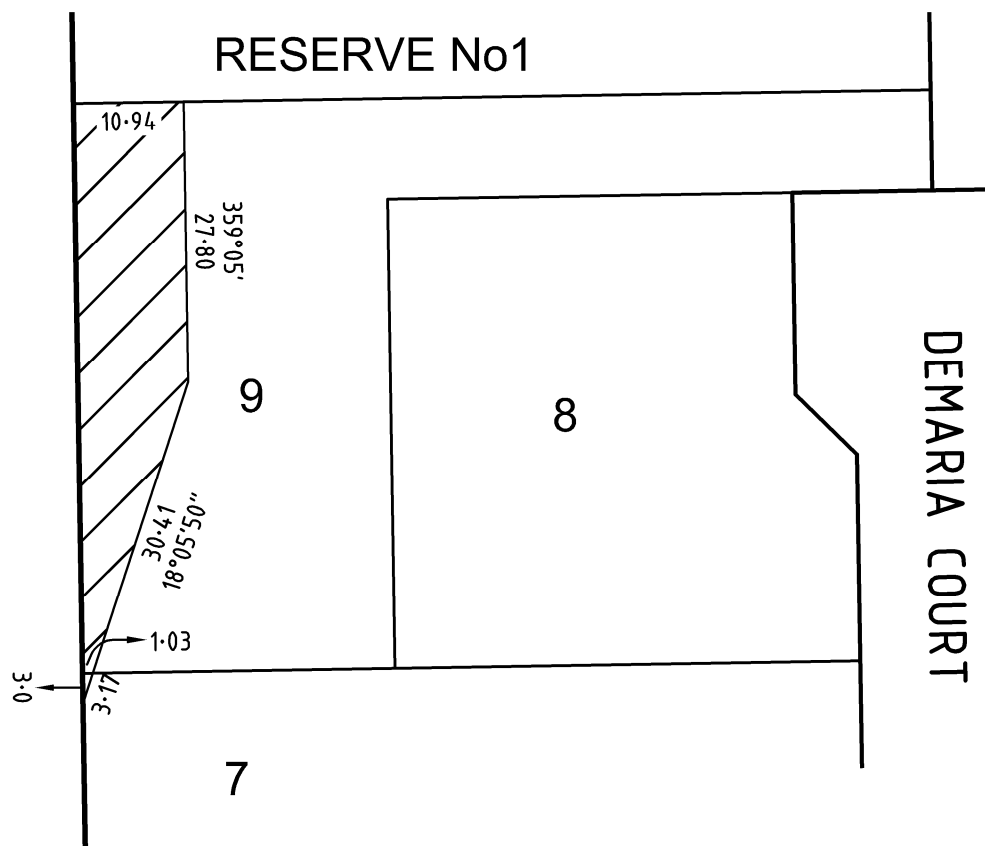
Burdened Land: Lot 7 and 9 on this plan
Benefited Land: Lot 7 and 9 on this plan

Restriction:

The burdened land must not construct an effluent disposal system within the area shown below as hatched, unless with the written consent of the Greater Shepparton City Council.

Expiry Date:

The Restriction shall expire 30 years after the date of registration of this plan.



RESTRICTION 2
SCALE 1:750

SURVEYOR'S FILE REF: 322906SV00

ORIGINAL SHEET
SIZE: A3

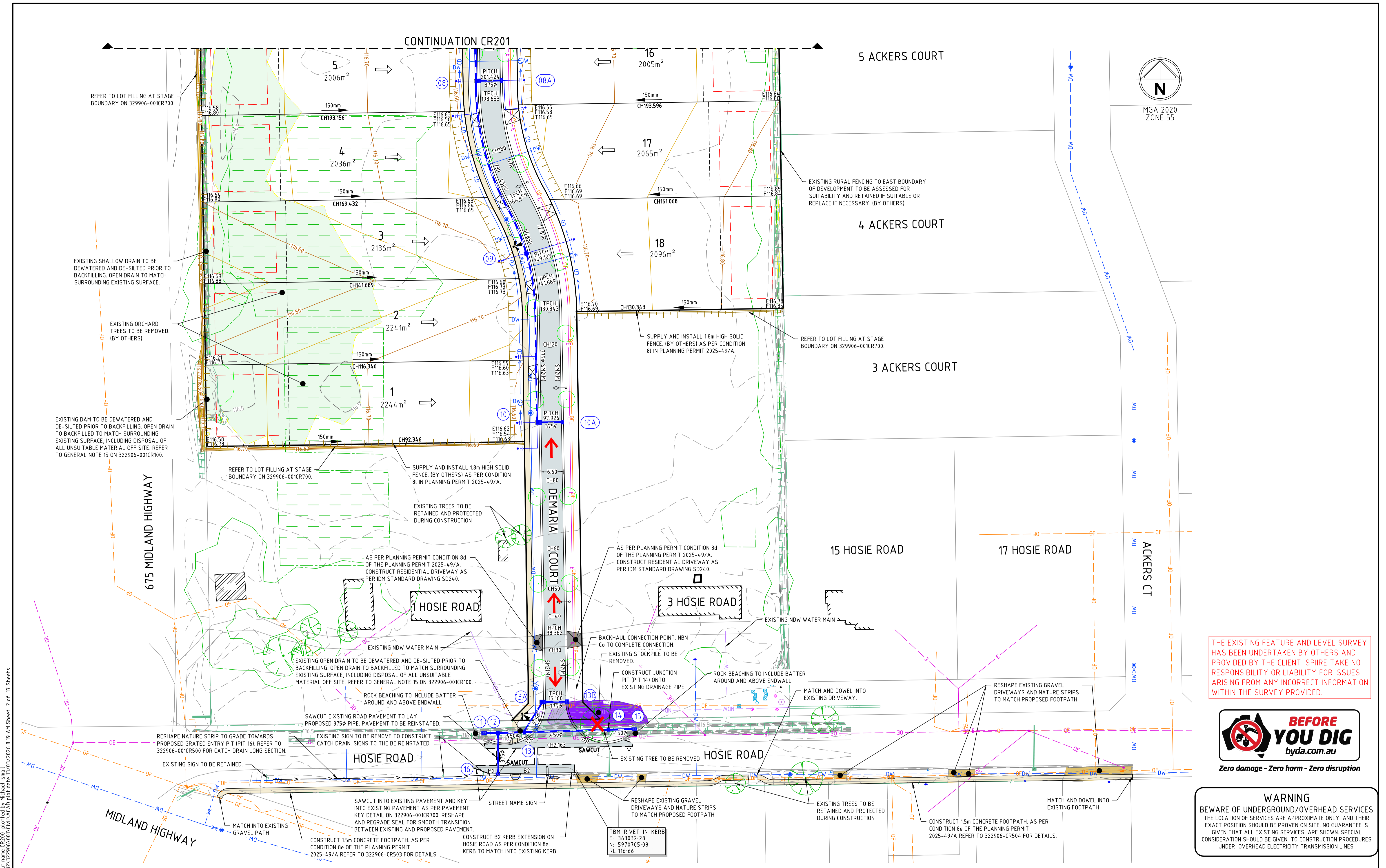
SHEET 3



144 Welsford Street
PO Box 926
Shepparton Vic 3632
T 61 3 5849 1000
spiire.com.au

Licensed Surveyor: Mark Christopher Sargent
Version: 1

CONTINUATION CR201



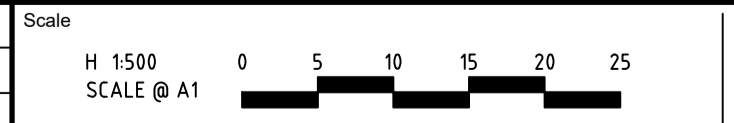
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WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

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Rev	Amendments	Approved	Date
C	ISSUED FOR APPROVAL	A.A.	13/03/26
B	ISSUED FOR INFORMATION	A.A.	11/03/26
A	ISSUED TO CLIENT FOR REVIEW	A.A.	27/02/26



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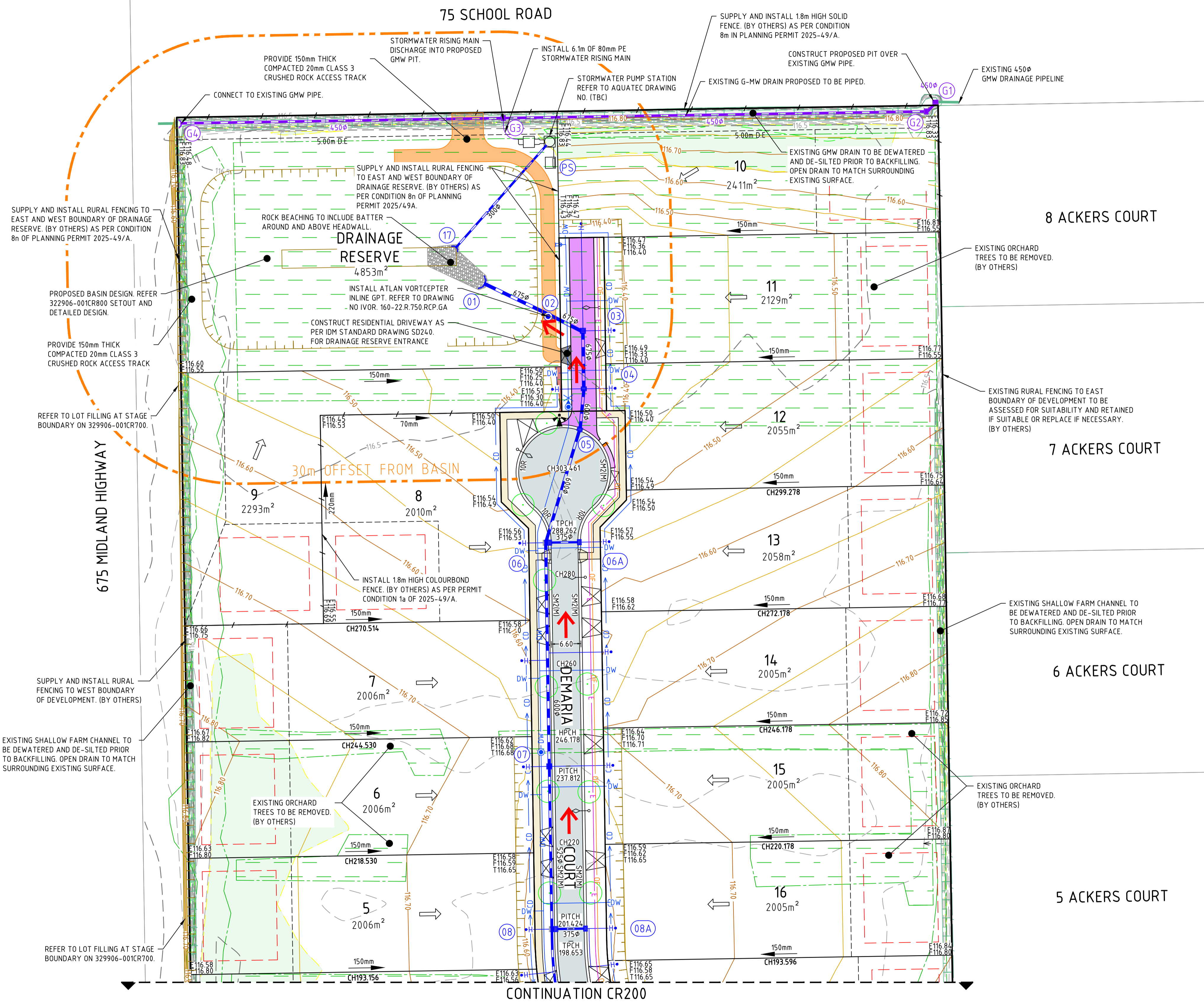
144 WELSFORD STREET SHEPPARTON
VICTORIA 3630 AUSTRALIA T 61 3 5849 1000
spiire.com.au ABN 55 050 029 635

Designed
M. ISMAIL
Authorised
A. ANDERSSON (PE0007863)

Checked
U. PAFFRATH
Date
10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
ROAD AND DRAINAGE
ROAD LAYOUT PLANS - SHEET 1
CITY OF GREATER SHEPPARTON
HOSIE ROAD SHEPPARTON PTY LTD**

TENDER Drg No **322906-001CR200** Rev **C**



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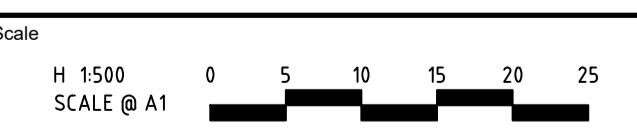


Zero damage - Zero harm - Zero disruption

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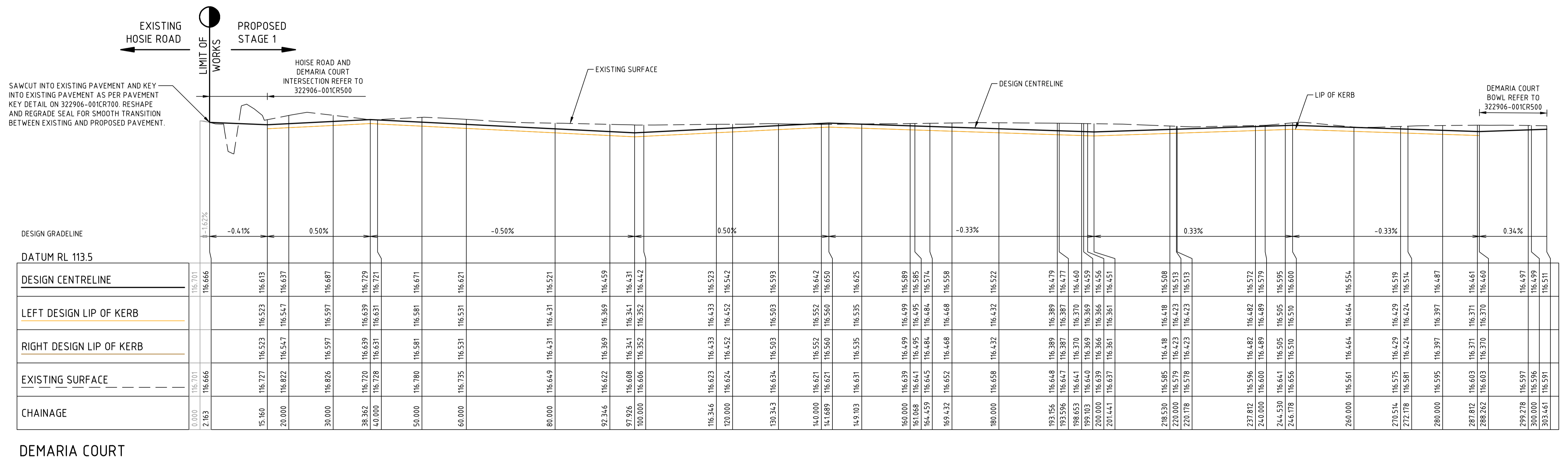
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spiire.com.au ABN 55 050 029 635

Designed
M. ISMAIL
Checked
U. PAFFRATH
Authorised
A. ANDERSSON (PE0007863)
Date
10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
ROAD AND DRAINAGE
ROAD LAYOUT PLANS - SHEET 2
CITY OF GREATER SHEPPARTON
HOSIE ROAD SHEPPARTON PTY LTD**

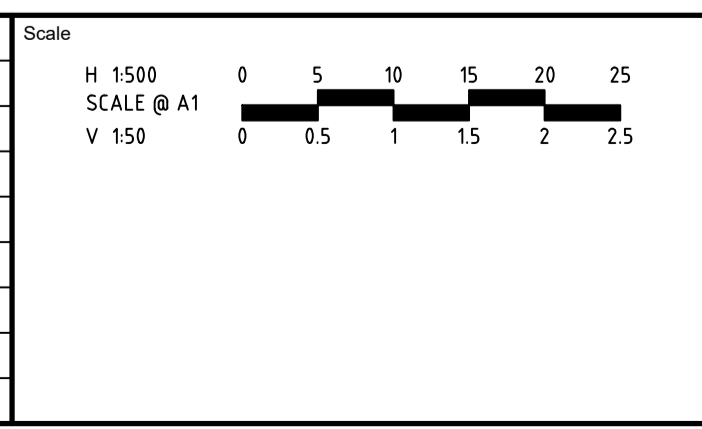
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DEMARIA COURT

Rev	Amendments	Approved	Date
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A	ISSUED TO CLIENT FOR REVIEW	A.A.	27/02/26



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Designed
M. ISMAIL
 Authorised
A. ANDERSSON (PE0007863)

Checked
U. PAFFRATH
 Date
 10/03/2026

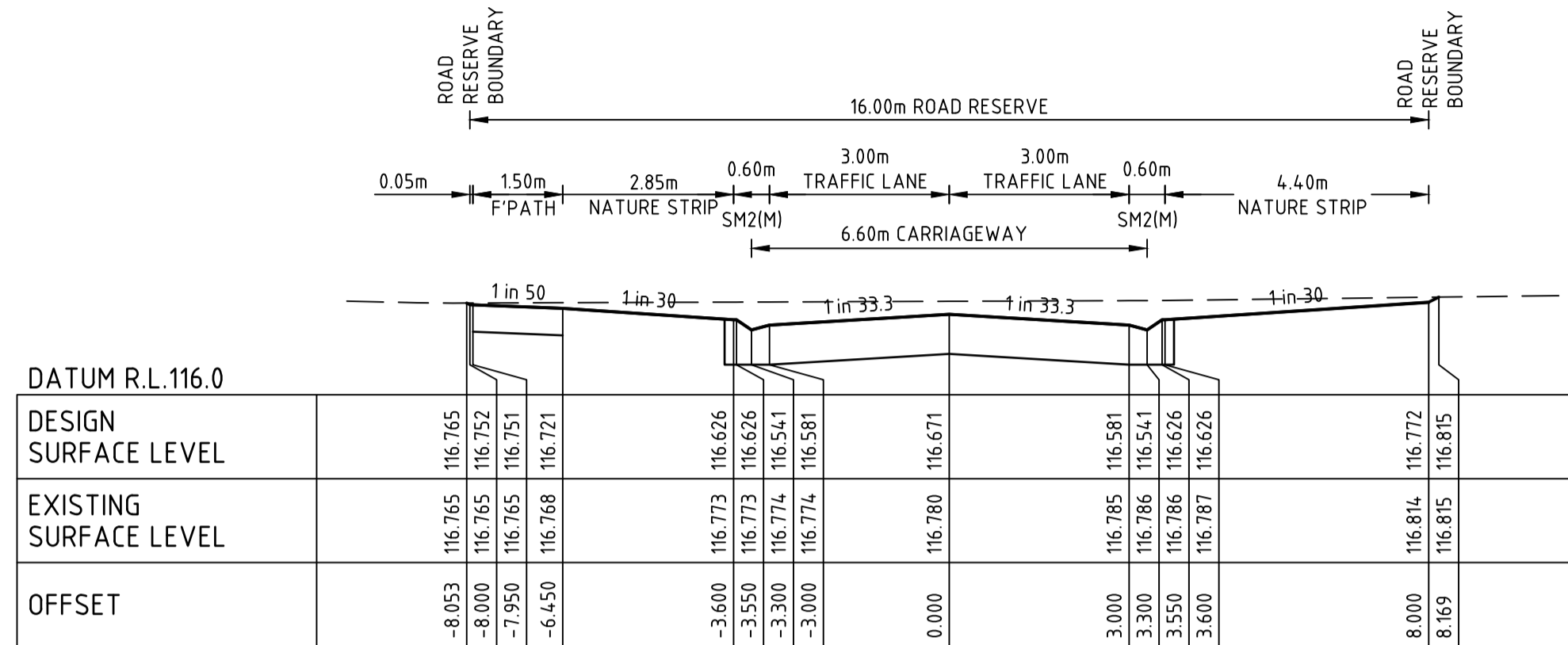
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ROAD AND DRAINAGE
ROAD LONG SECTIONS - SHEET 1
 CITY OF GREATER SHEPPARTON
 HOSIE ROAD SHEPPARTON PTY LTD

PRELIMINARY

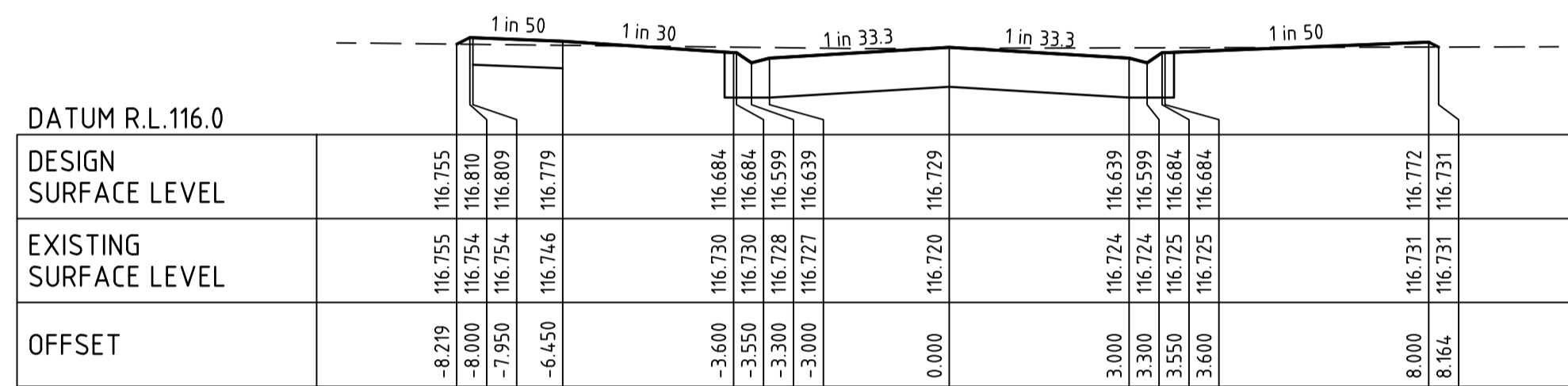
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 ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007 AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.

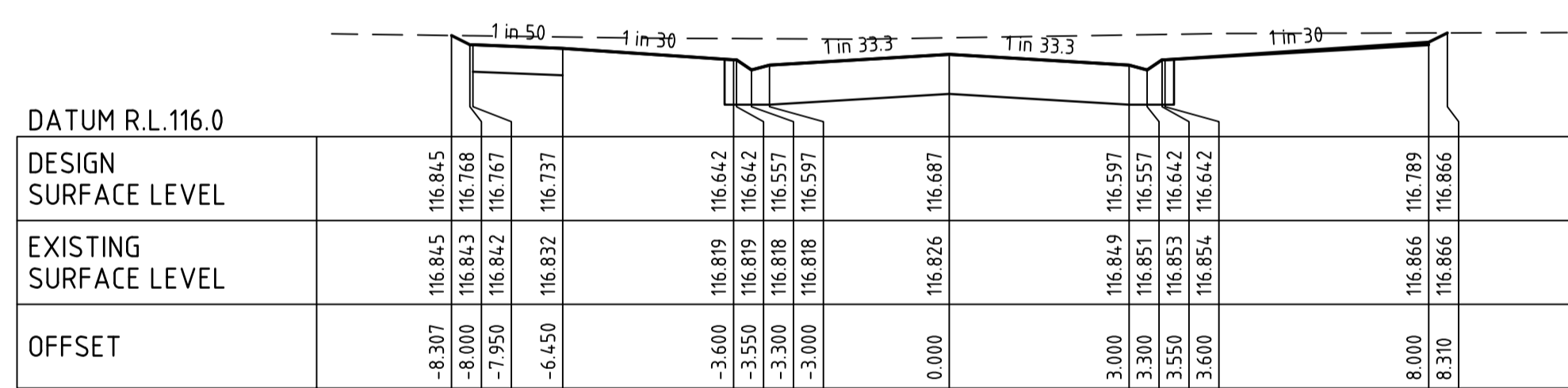
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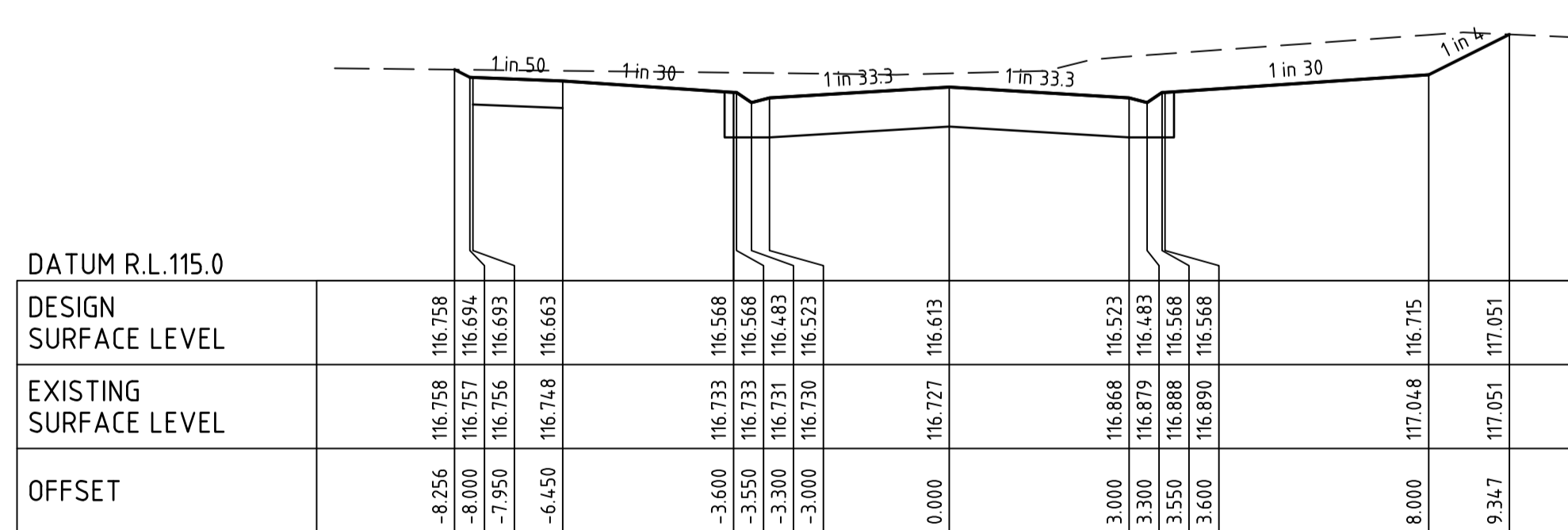
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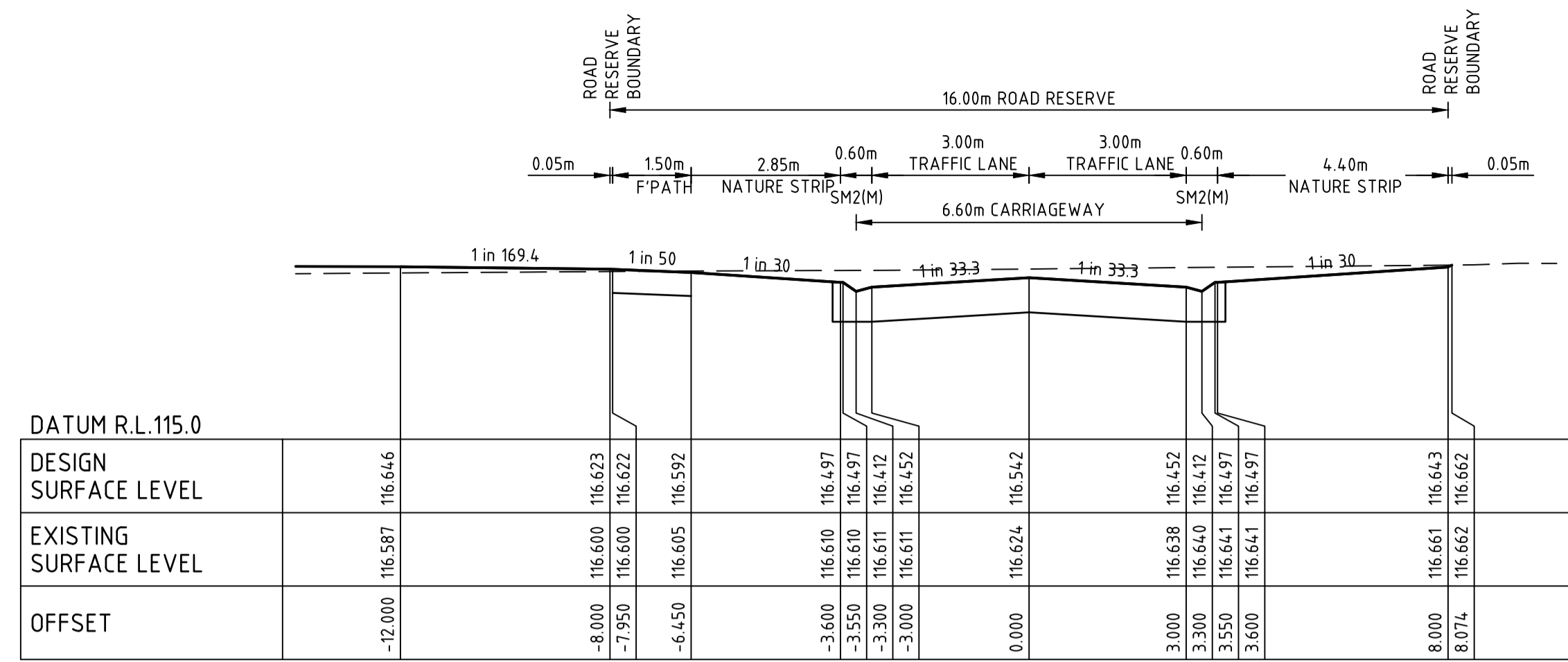
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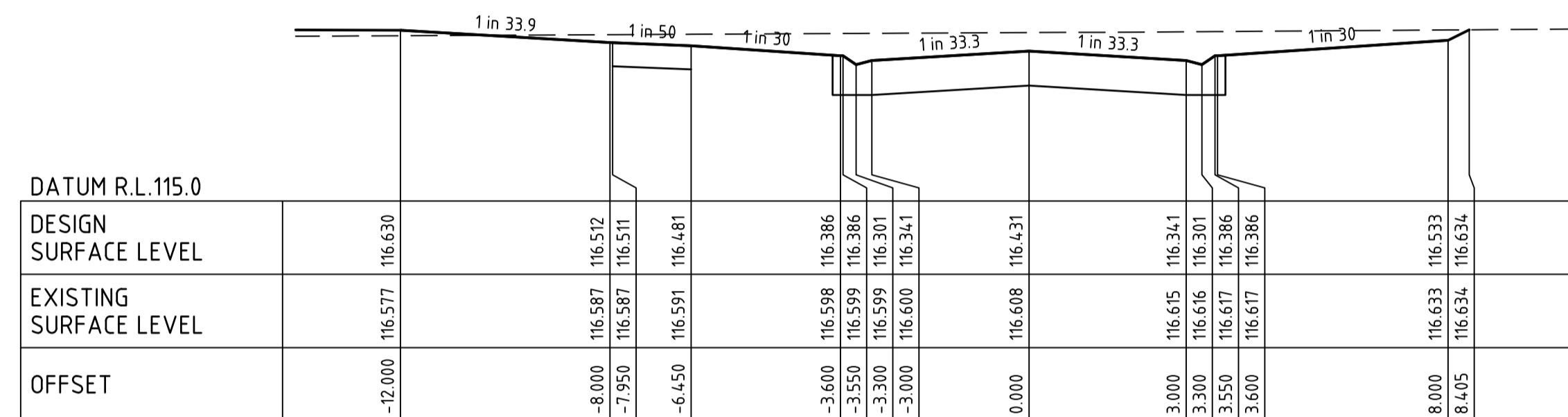
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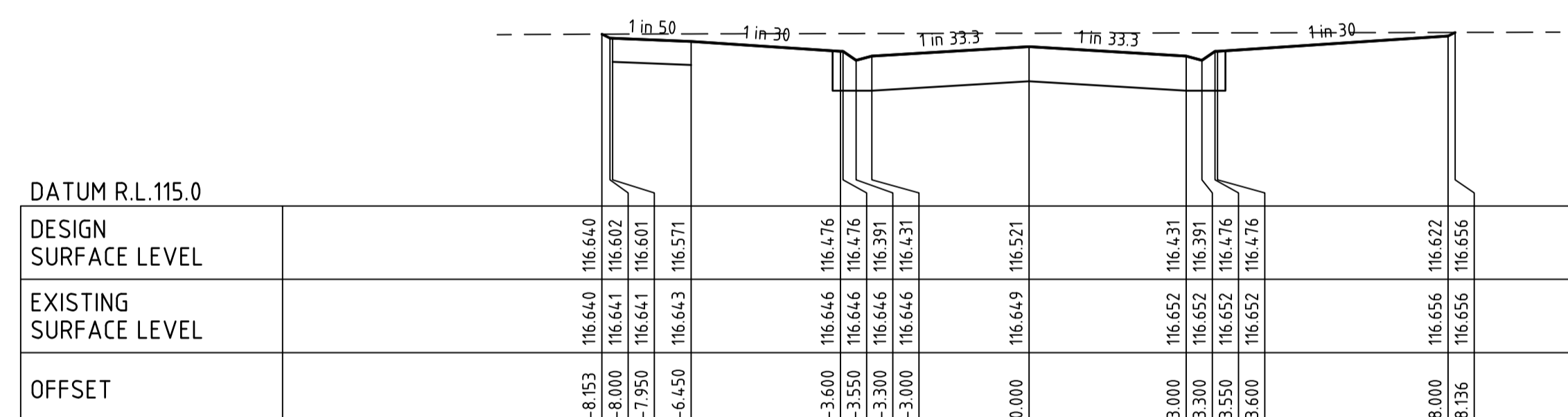
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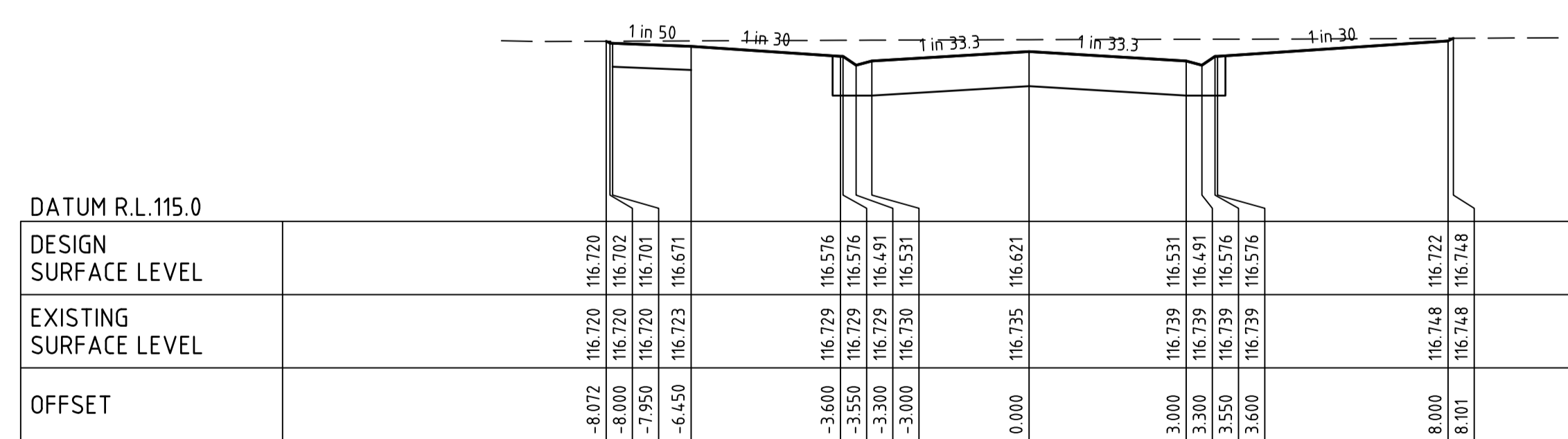
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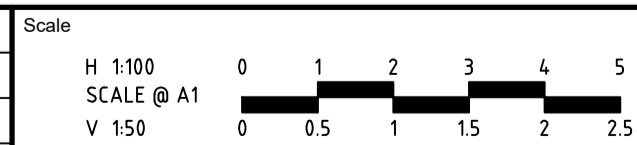


DEMARIA COURT CH 80.000



DEMARIA COURT CH 60.000

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Designed M. ISMAIL	Checked U. PAFFRATH
Authorised A. ANDERSSON (PE0007863)	Date 10/03/2026

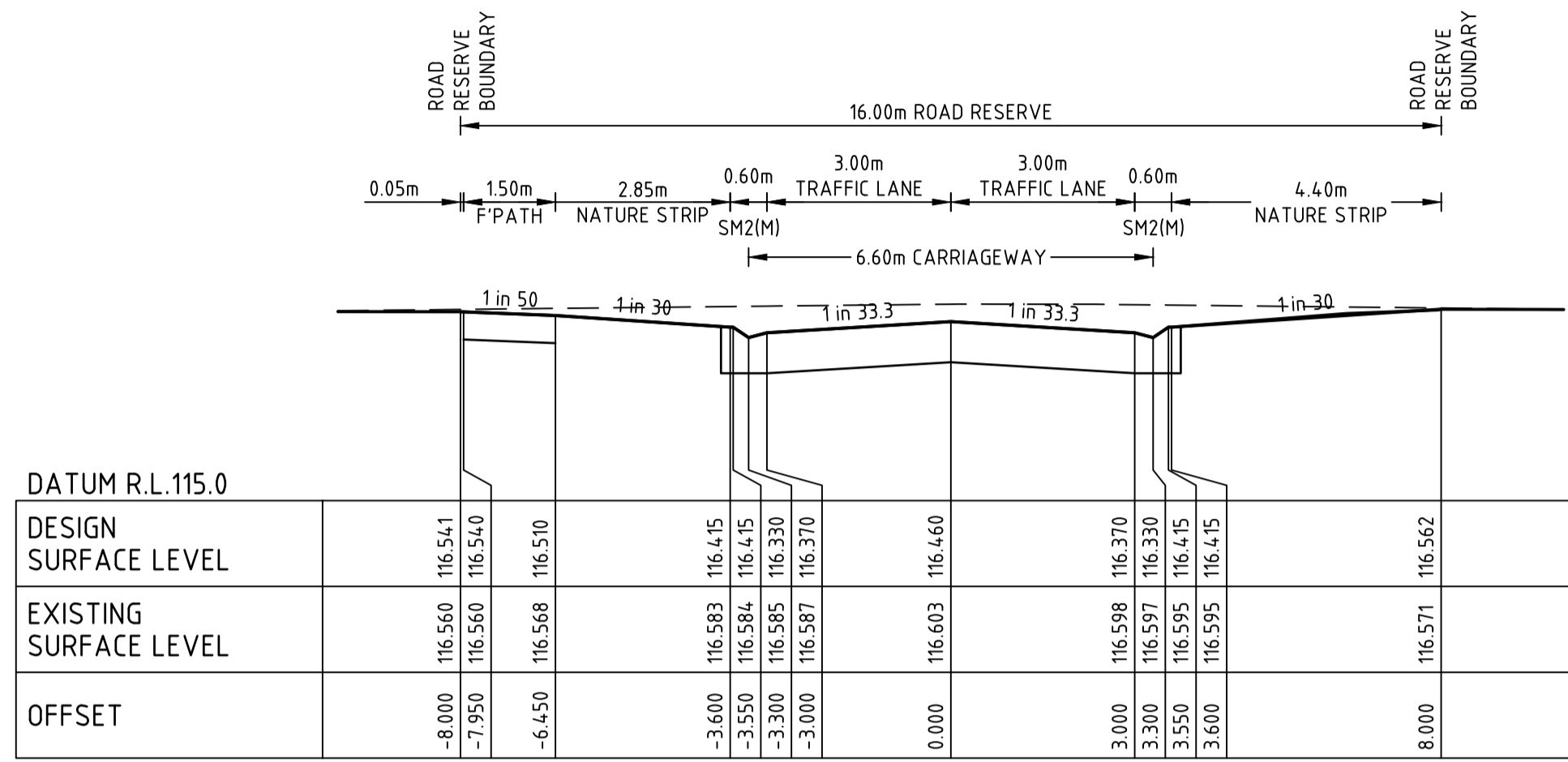
**1 - 3 HOSIE ROAD SHEPPARTON EAST
 RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
 ROAD AND DRAINAGE
 ROAD CROSS SECTIONS - SHEET 1
 CITY OF GREATER SHEPPARTON
 HOSIE ROAD SHEPPARTON PTY LTD**

PRELIMINARY Dwg No. **322906-001CR400** Rev **B**

Rev	Amendments	Approved	Date
B	ISSUED FOR APPROVAL	A.A.	13/03/26
A	ISSUED TO CLIENT FOR REVIEW	A.A.	27/02/26

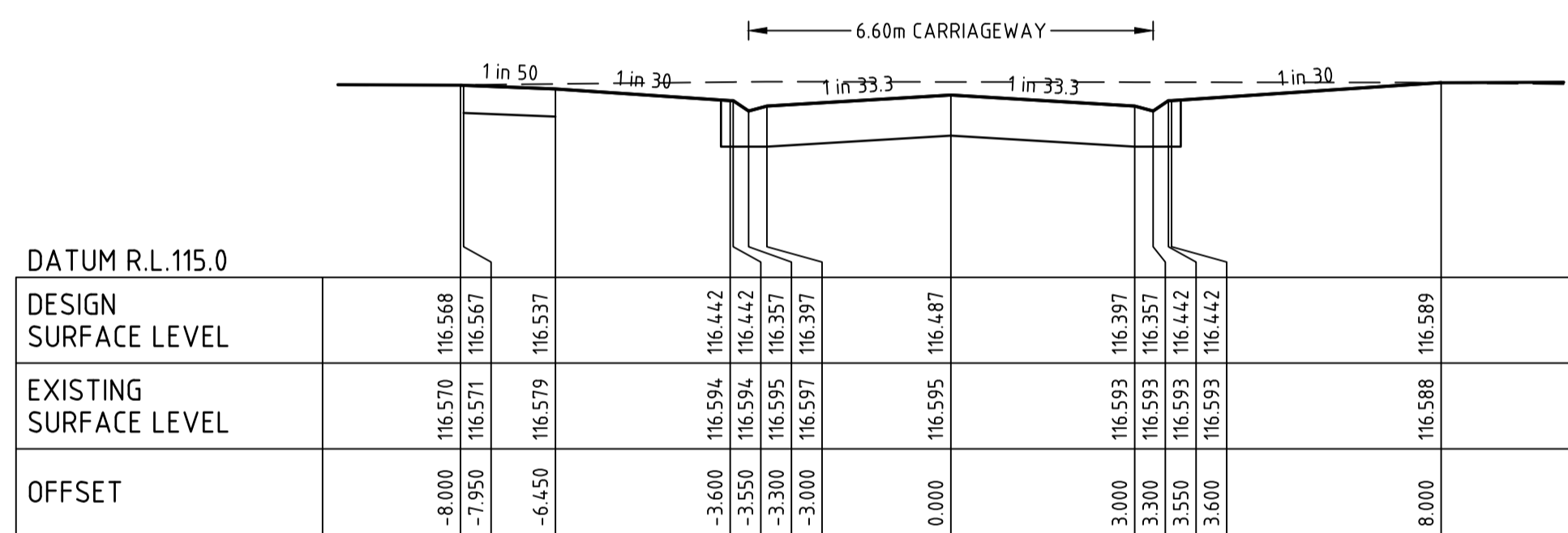
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 STRUCTURAL FILL IN ACCORDANCE WITH AS3798-2007, LEVEL 1



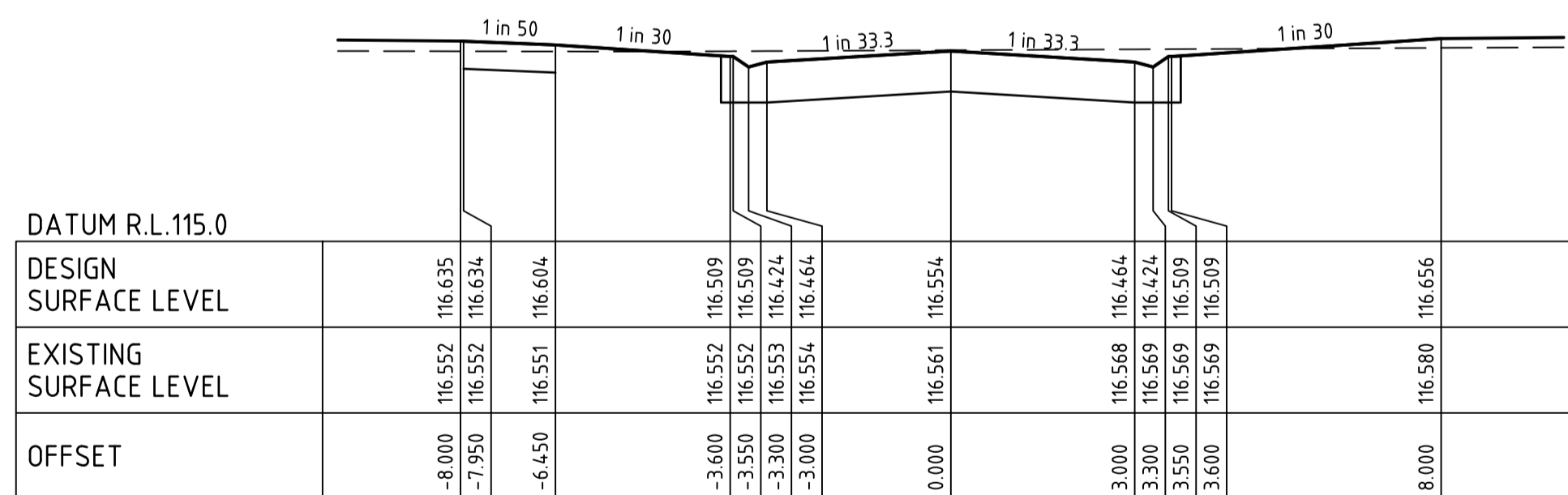
DEMARIA COURT

CH 288.262



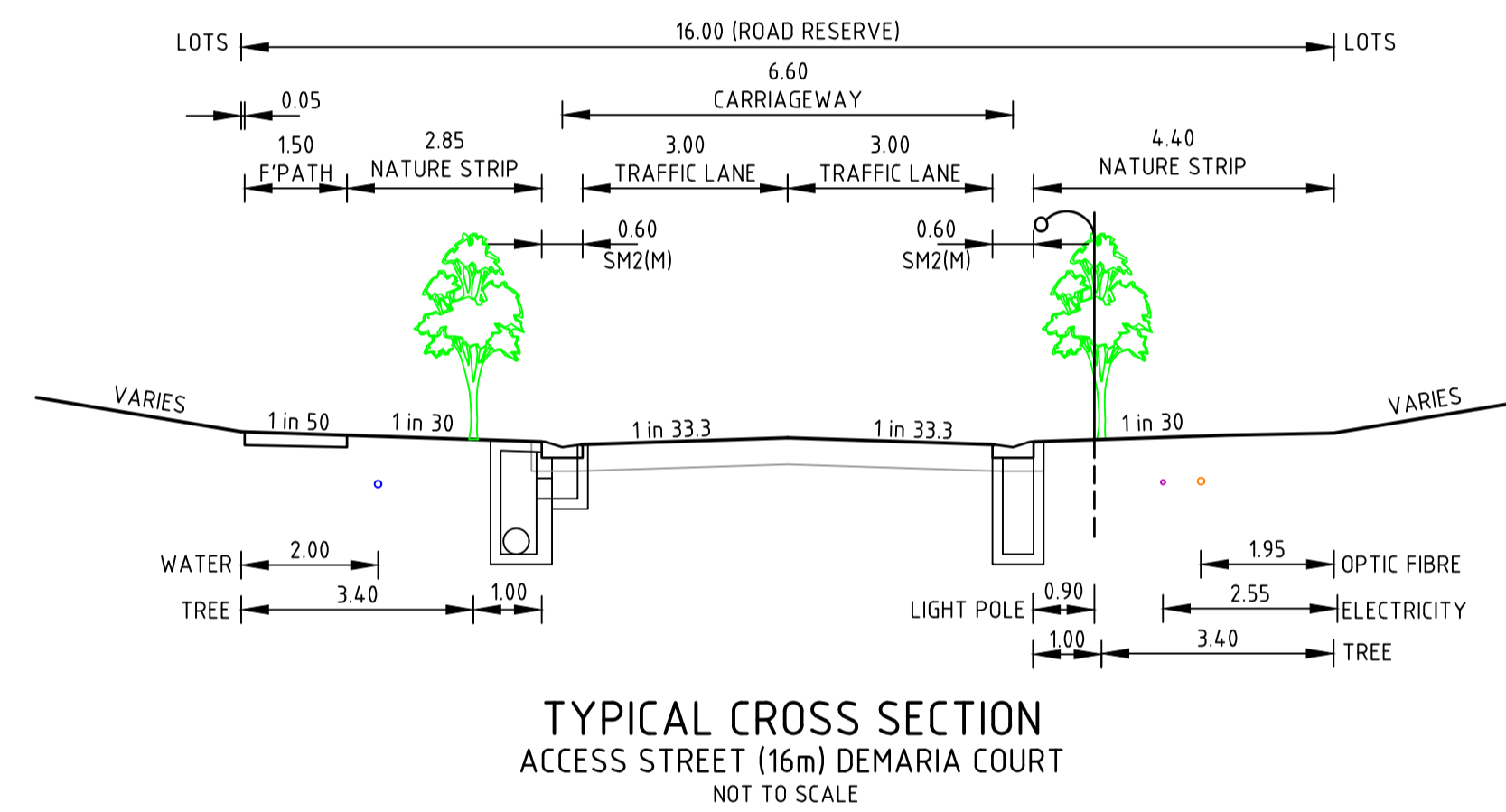
DEMARIA COURT

CH 280.000



DEMARIA COURT

CH 260.000



file: \\spire\322906_001CR402.dwg, layout: asos_CG402, plotted by: Michael Lonsell, file location: \\spire\shredder\data\322906\001CR402.dwg, plot date: 13/03/2026 8:19 AM Sheet: 7 of 17 Sheets

Scale
 H 1:100
 SCALE @ A1
 V 1:50

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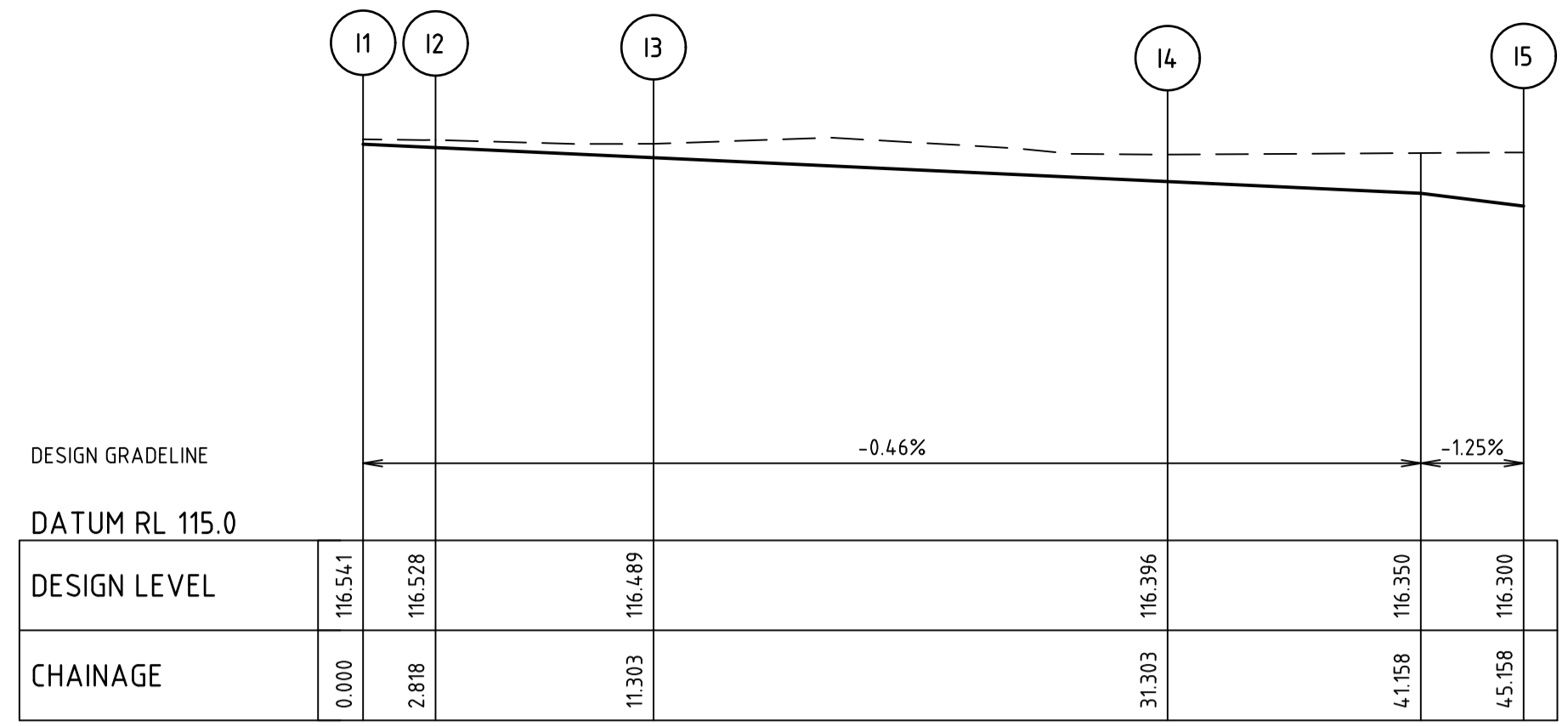
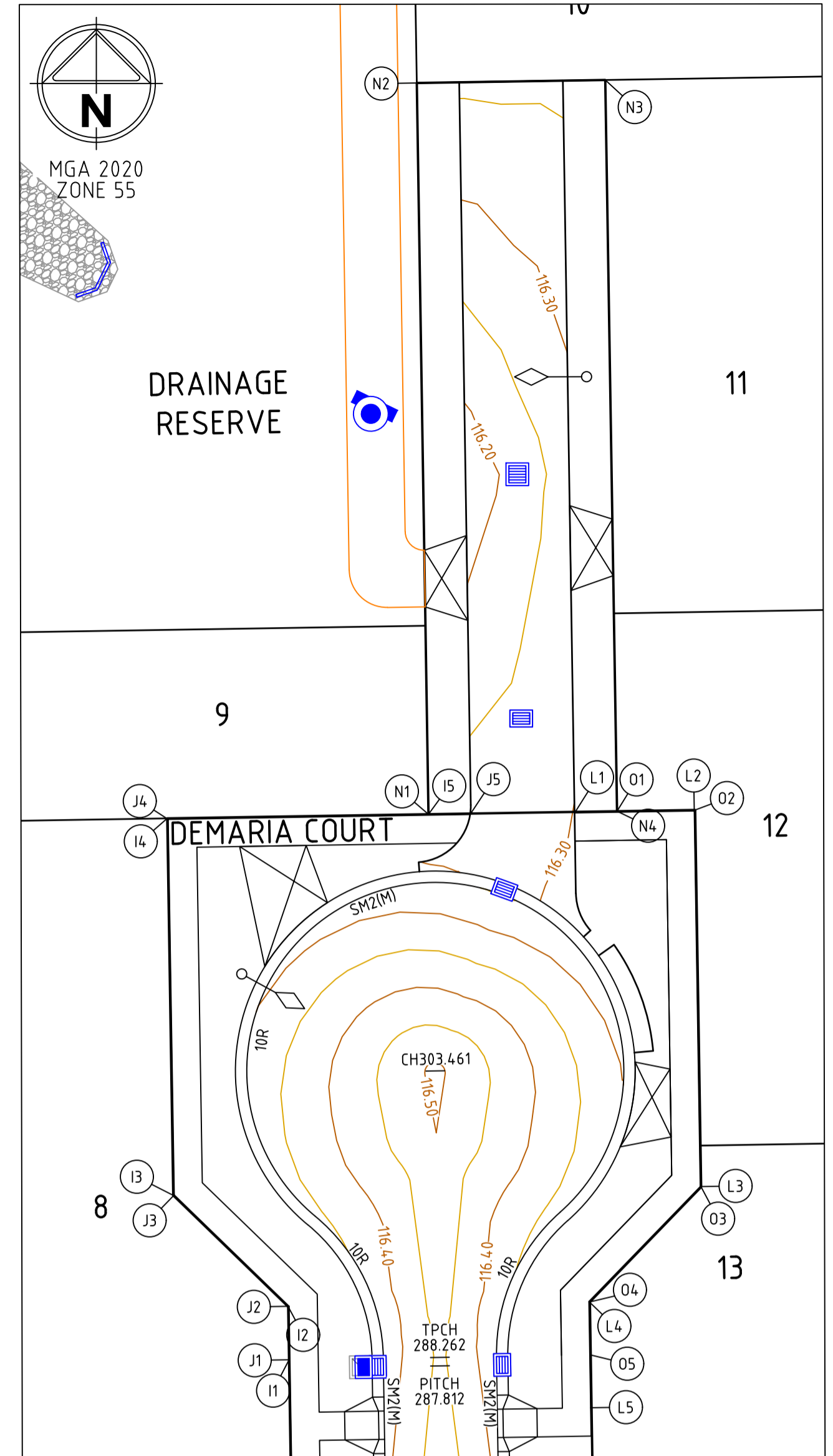
144 WELSFORD STREET SHEPPARTON
 VICTORIA 3630 AUSTRALIA T 61 3 5849 1000
 spiire.com.au ABN 55 050 029 635

Designed M. ISMAIL	Checked U. PAFFRATH
Authorised A. ANDERSSON (PE0007863)	Date 10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
 RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
 ROAD AND DRAINAGE
 ROAD CROSS SECTIONS - SHEET 3
 CITY OF GREATER SHEPPARTON
 HOSIE ROAD SHEPPARTON PTY LTD**

PRELIMINARY Dwg No 322906-001CR402 Rev B

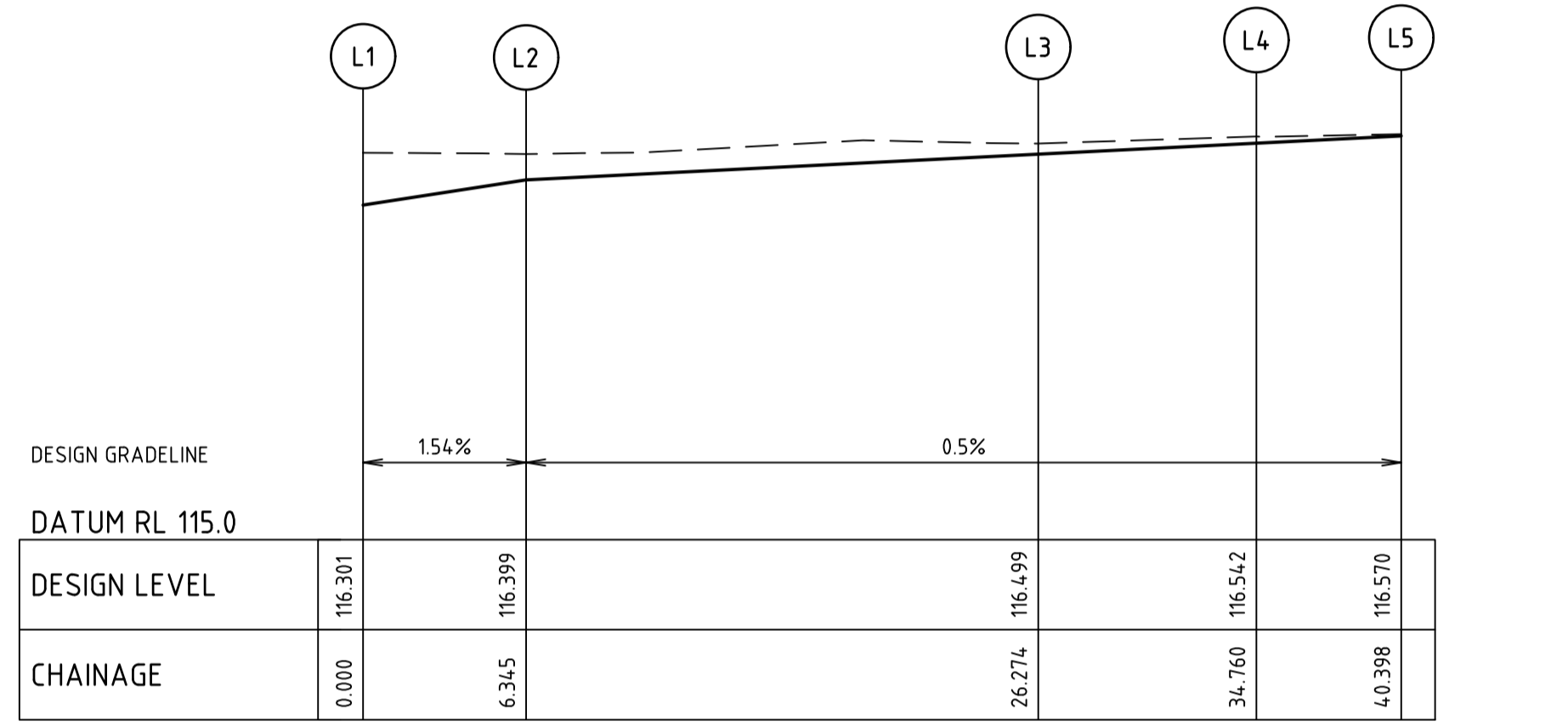
Rev	Amendments	Approved	Date
B	ISSUED FOR APPROVAL	A.A.	13/03/26
A	ISSUED TO CLIENT FOR REVIEW	A.A.	27/02/26



ALIGNMENT I

ALIGNMENT I

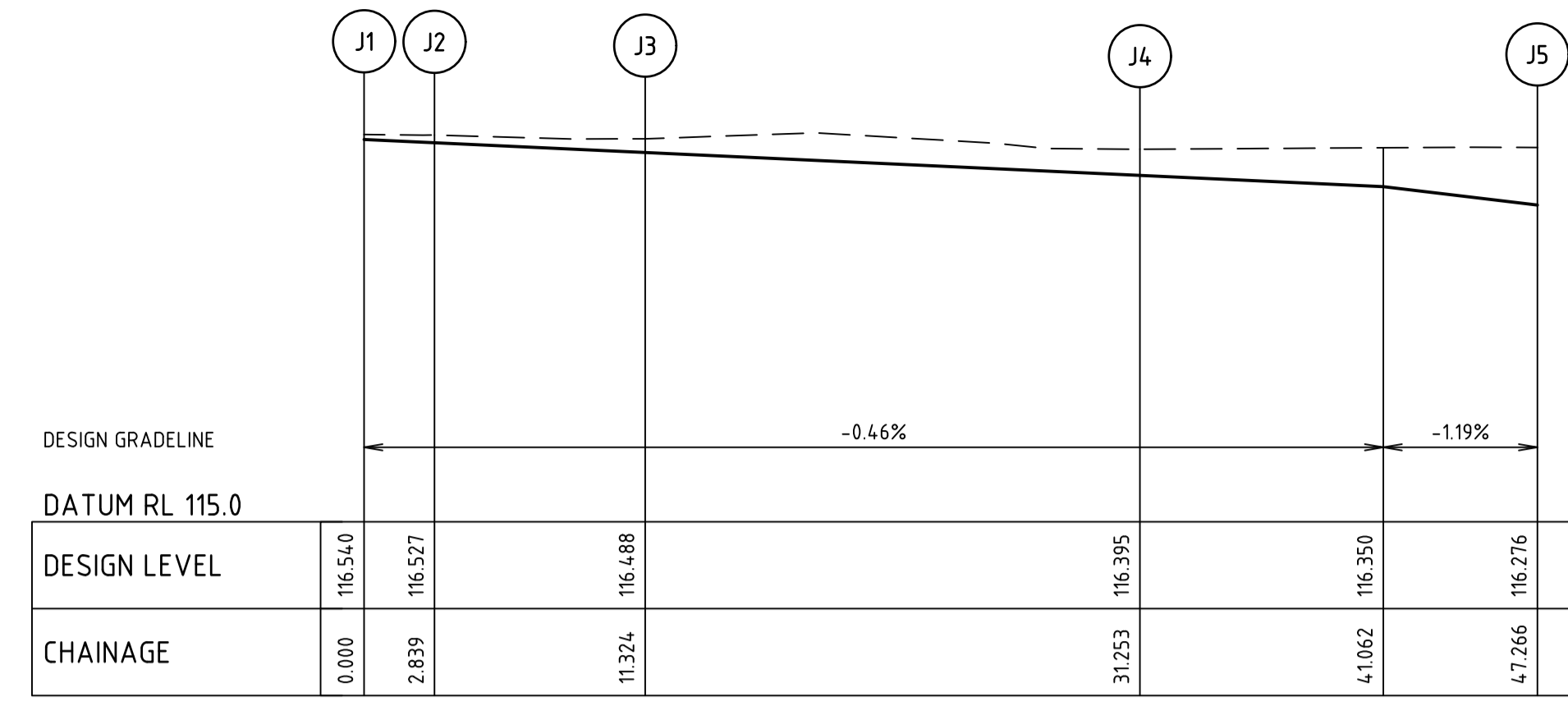
POINT NO	EASTING	NORTHING	RL
I1	362997.511	5970995.924	116.541
I2	362997.466	5970998.741	116.528
I3	362991.371	5971004.645	116.489
I4	362991.052	5971024.642	116.396
I5	363004.905	5971024.864	116.300



ALIGNMENT L

ALIGNMENT L

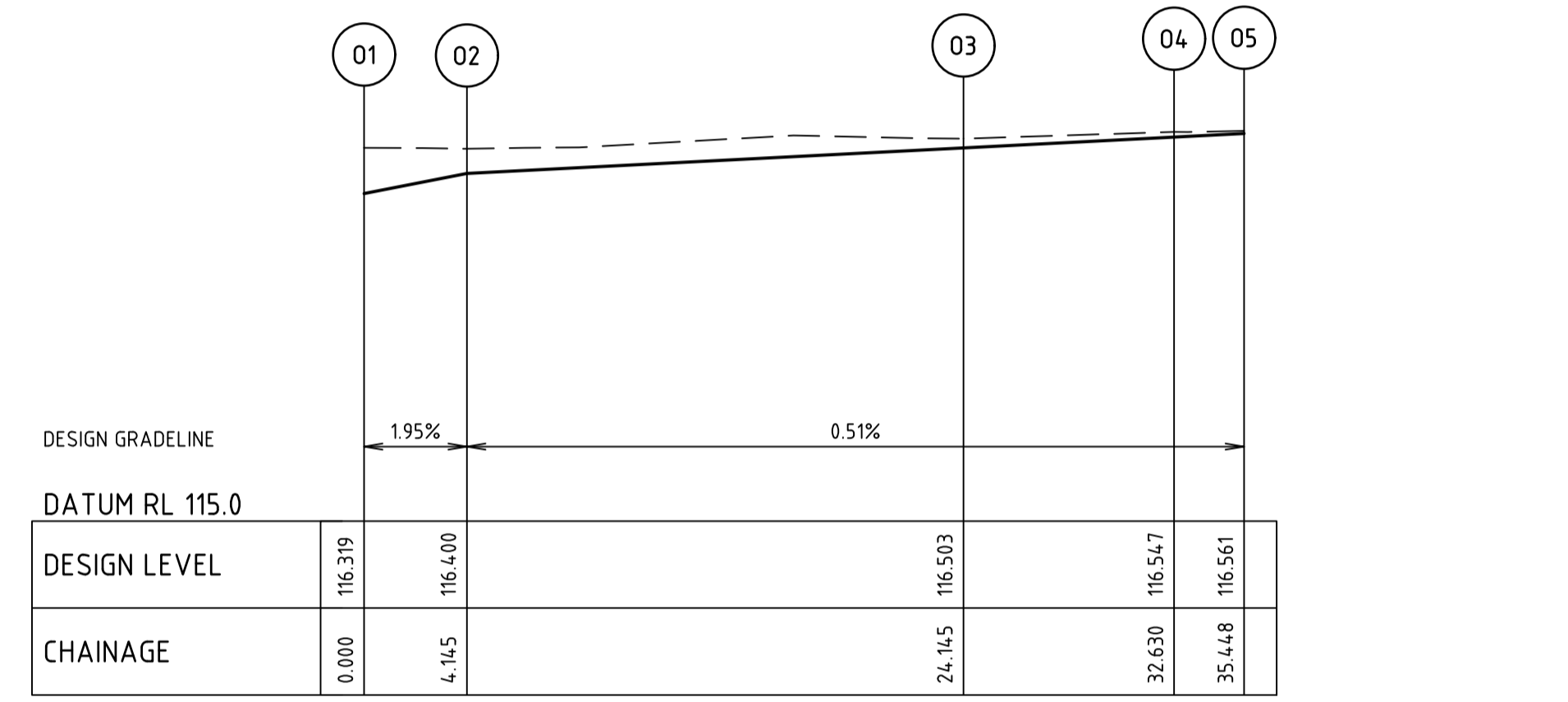
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L1	363012.655	5971024.937	116.301
L2	363018.999	5971025.039	116.399
L3	363019.317	5971005.112	116.499
L4	363013.414	5970999.017	116.542
L5	363013.504	5970993.379	116.570



ALIGNMENT J

ALIGNMENT J

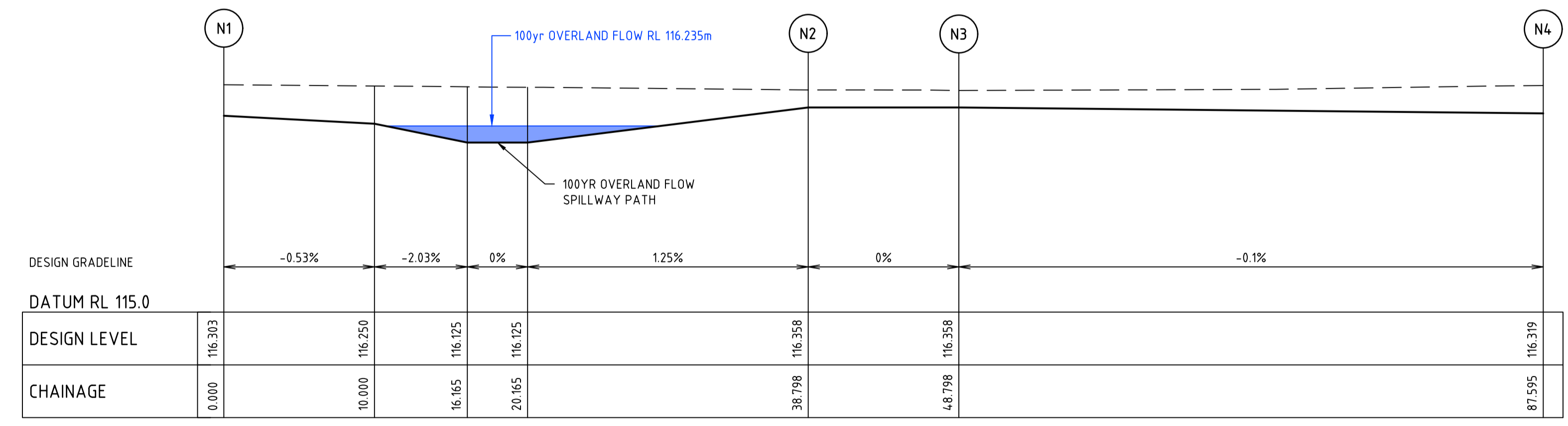
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J1	362997.561	5970995.925	116.540
J2	362997.516	5970998.763	116.527
J3	362991.421	5971004.666	116.488
J4	362991.103	5971024.593	116.395
J5	363007.113	5971024.849	116.276



ALIGNMENT O

ALIGNMENT O

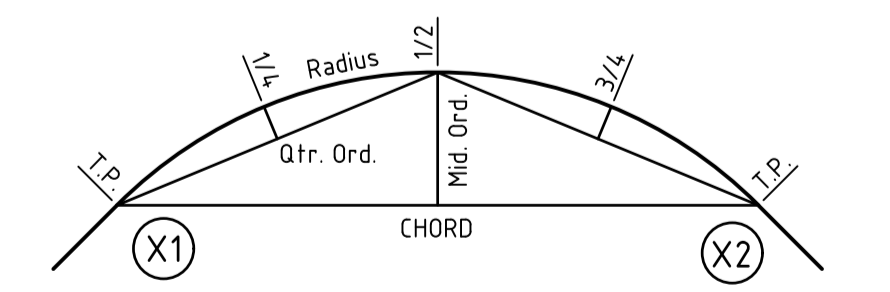
POINT NO	EASTING	NORTHING	RL
O1	363014.904	5971025.023	116.319
O2	363019.048	5971025.090	116.400
O3	363019.368	5971005.092	116.503
O4	363013.464	5970998.997	116.547
O5	363013.509	5970996.179	116.561



ALIGNMENT N

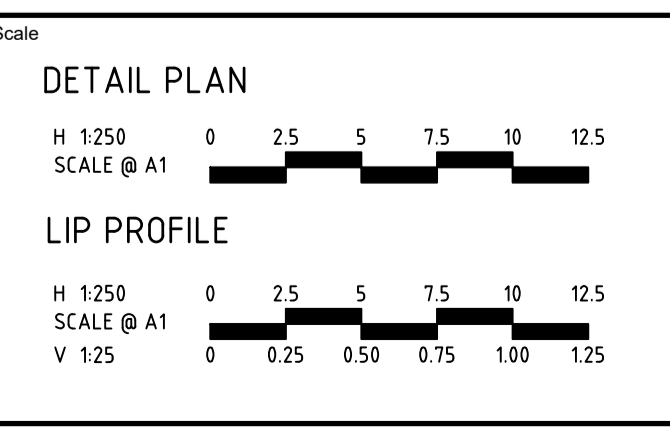
ALIGNMENT N

POINT NO	EASTING	NORTHING	RL
N1	363004.905	5971024.864	116.303
N2	363004.285	5971063.656	116.358
N3	363014.284	5971063.816	116.358
N4	363014.904	5971025.023	116.319



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Rev	Amendments	Approved	Date
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Designed
M. ISMAIL

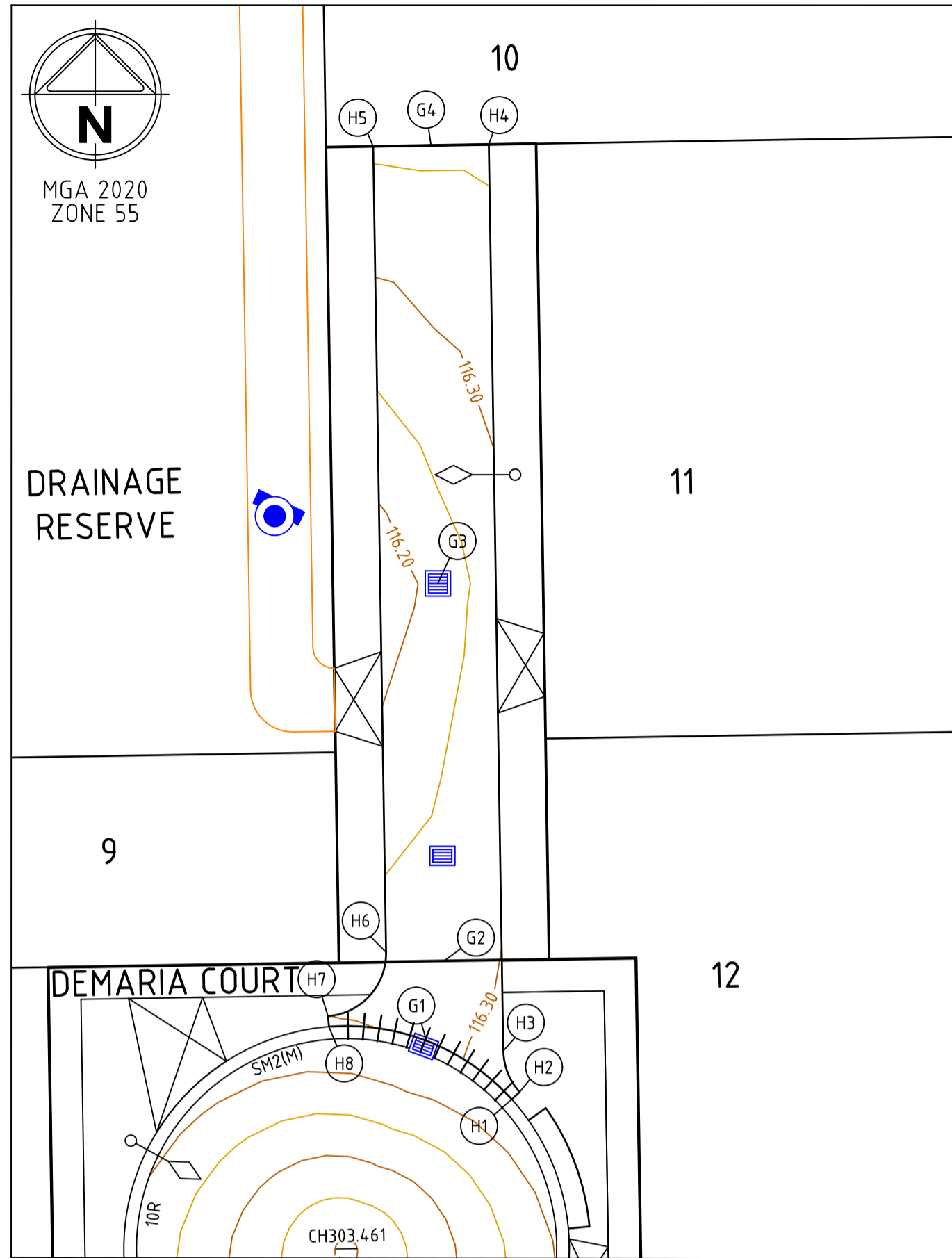
Checked
U. PAFFRATH

Authorised
A. ANDERSSON (PE0007863)

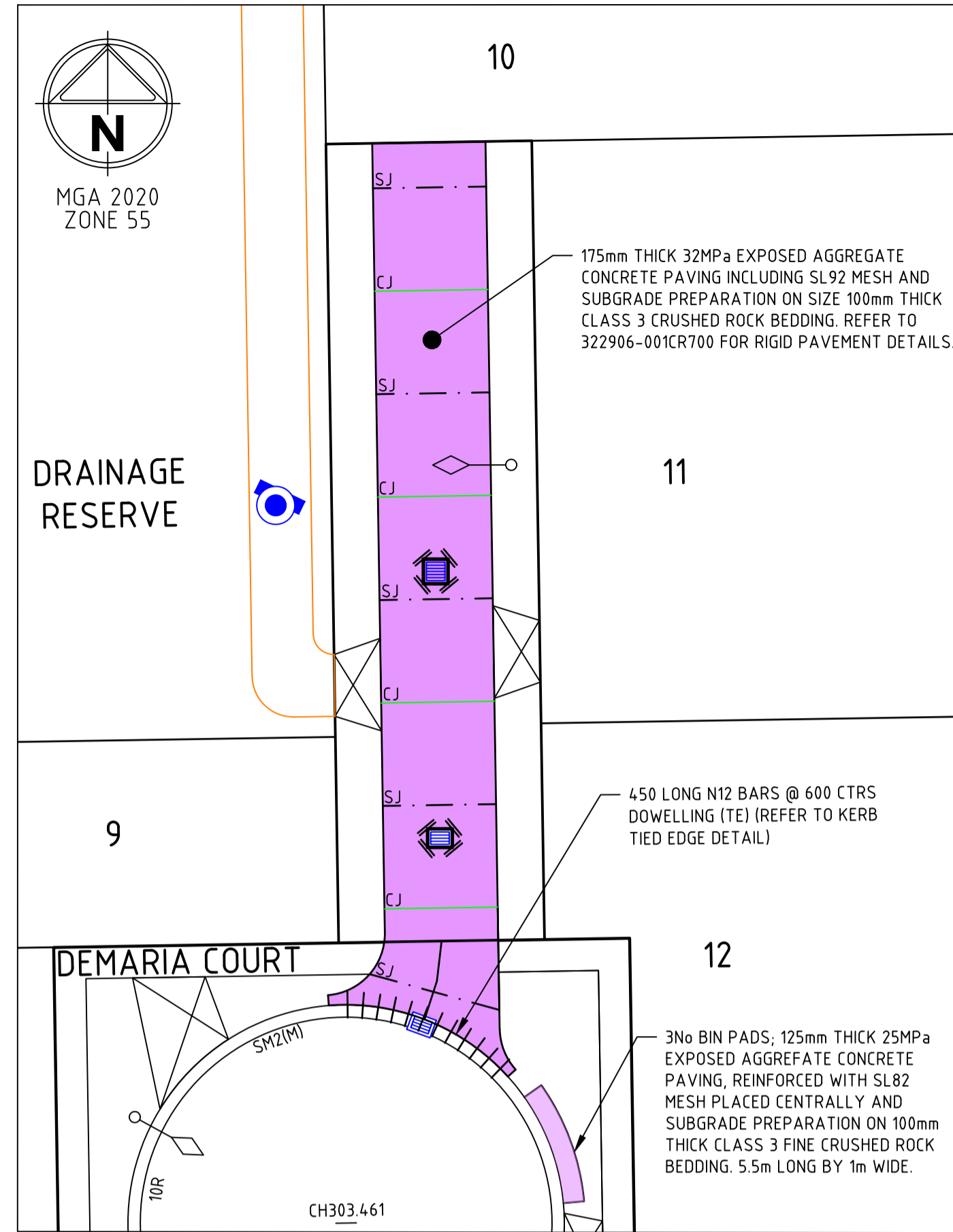
Date
10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
 RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
 ROAD AND DRAINAGE
 INTERSECTION DETAILS - SHEET 2
 CITY OF GREATER SHEPPARTON
 HOSIE ROAD SHEPPARTON PTY LTD**

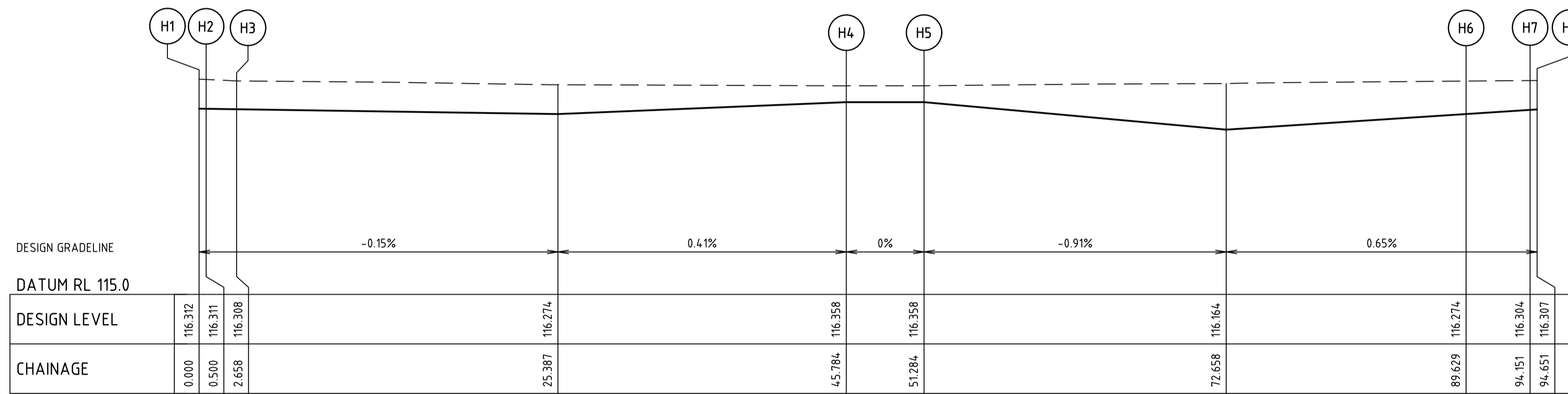
PRELIMINARY Dwg No 322906-001CR501 Rev B



INTERSECTION DETAIL PLAN
DEMARIA COURT BOWL SHARED DRIVEWAY (NORTH)



INTERSECTION DETAIL PLAN
DEMARIA COURT BOWL SHARED DRIVEWAY (NORTH)

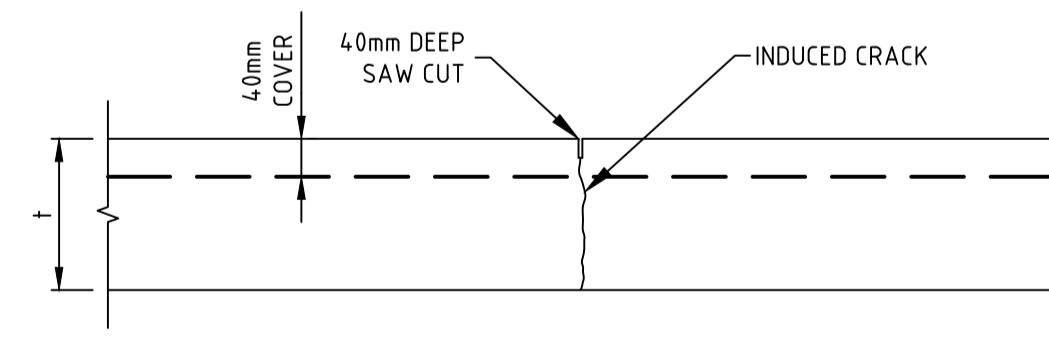


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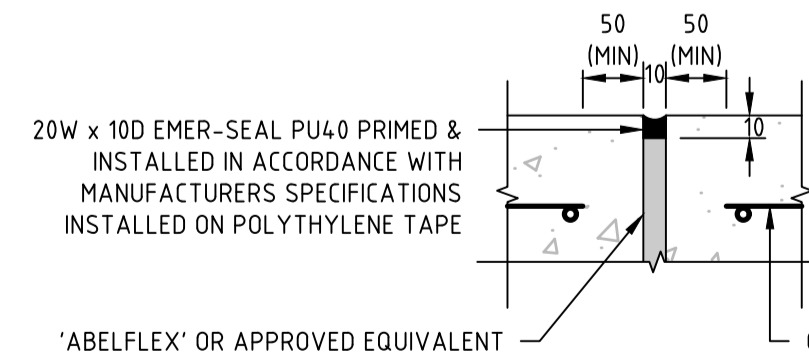
ALIGNMENT H

POINT NO	EASTING	NORTHING	RL
H1	363013.127	5971018.360	116.312
H2	363013.498	5971018.696	116.311
H3	363012.723	5971020.661	116.308
H4	363012.034	5971063.780	116.358
H5	363006.535	5971063.692	116.358
H6	363007.148	5971025.352	116.274
H7	363004.386	5971022.313	116.304
H8	363004.426	5971021.815	116.307

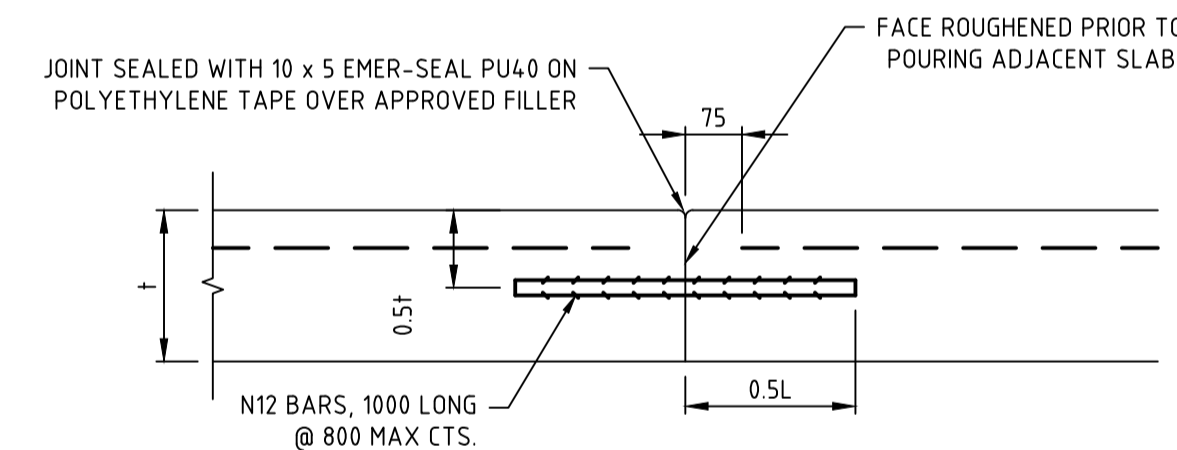
CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
H2-H3	3.000	2.158	2.112	0.192	0.048
H6-H7	3.000	4.522	4.106	0.812	0.210



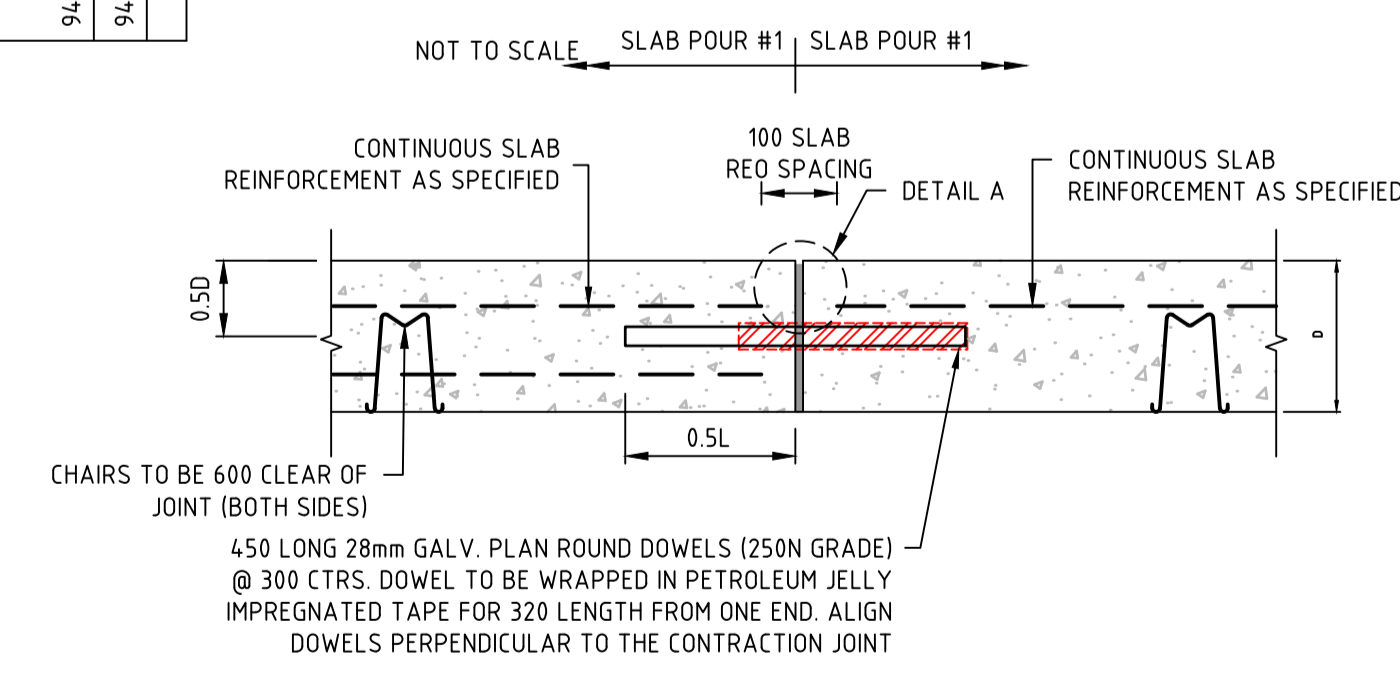
SAW CUT JOINT (SJ)
REFER IDM S225
NOT TO SCALE



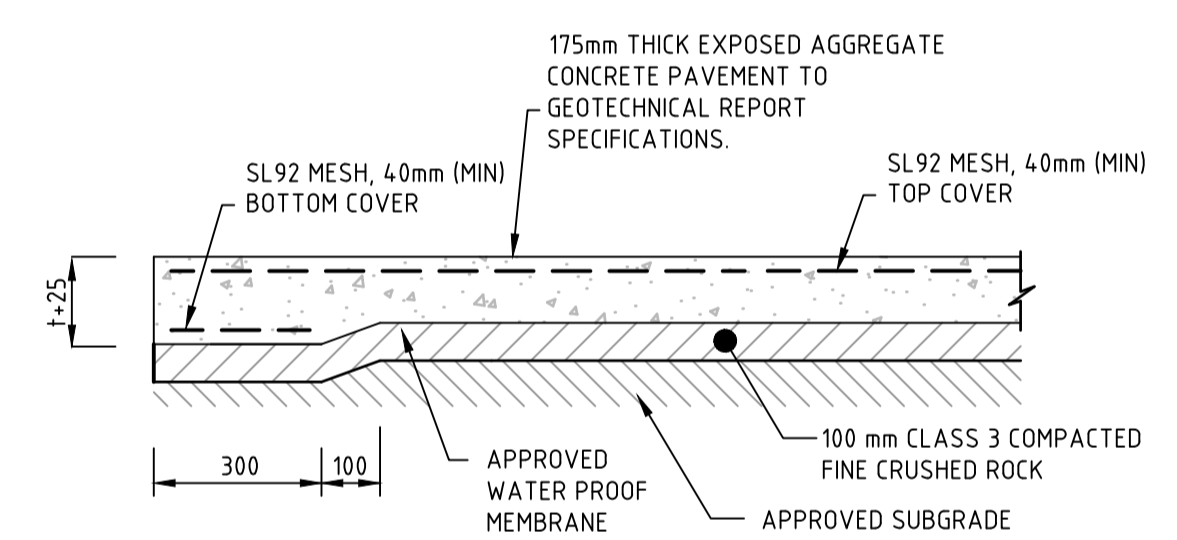
DETAIL A
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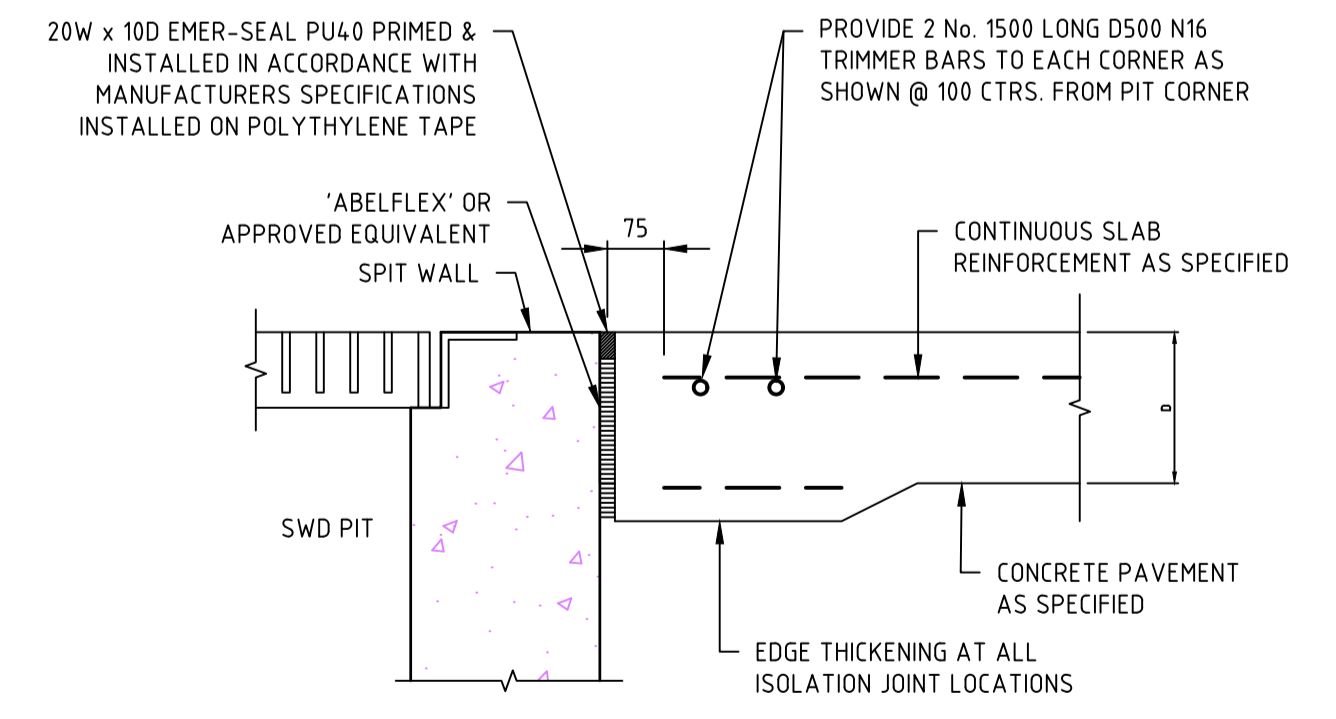
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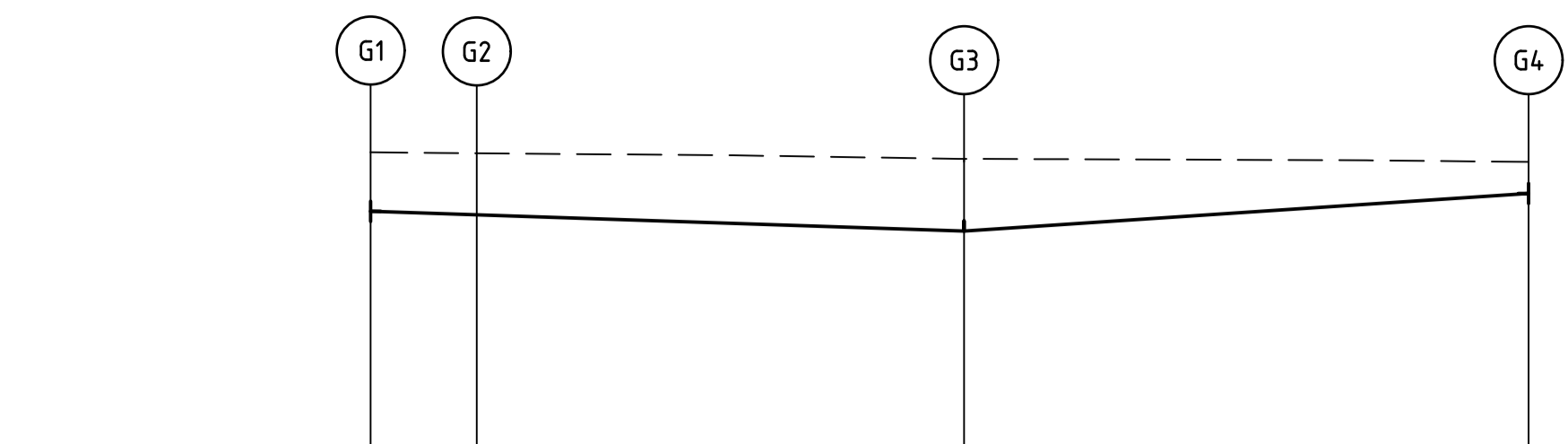
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CONCRETE PAVEMENT - EDGE THICKENING
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PIT / SLAB PENETRATION ISOLATION JOINT (IJ)
NOT TO SCALE

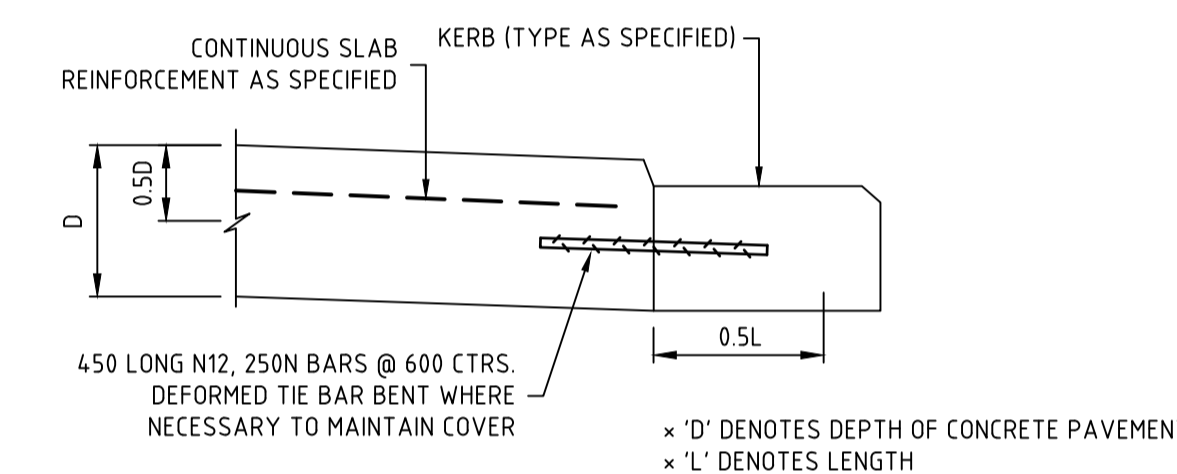


ALIGNMENT G

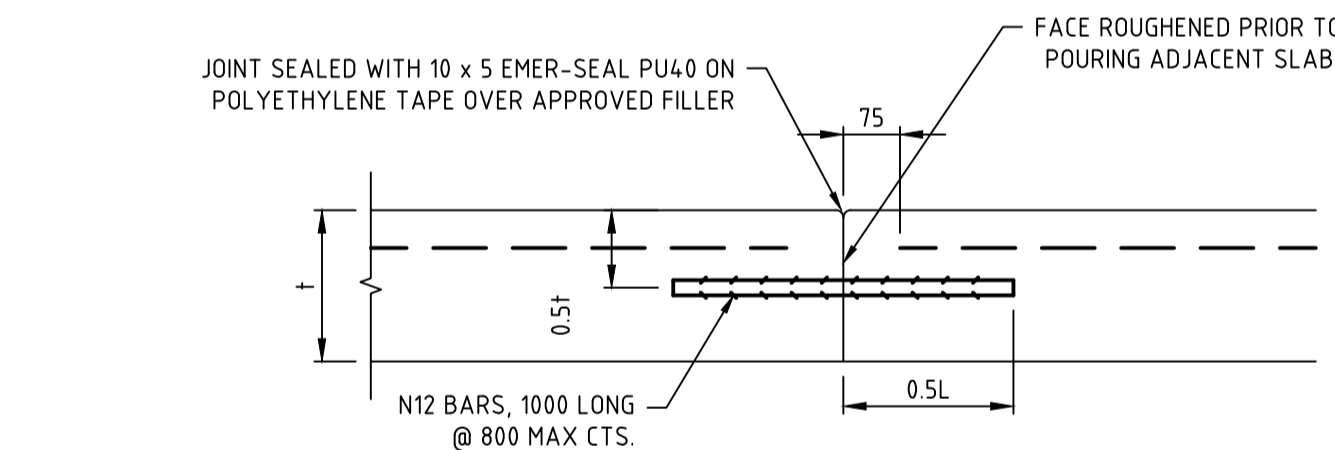
ALIGNMENT G

POINT NO	EASTING	NORTHING	RL
G1	363009.075	5971021.141	116.292
1/4	363009.420	5971022.057	116.289
1/2	363009.674	5971023.002	116.285
3/4	363009.836	5971023.967	116.282
G2	363009.904	5971024.943	116.279
G3	363009.285	5971063.736	116.358

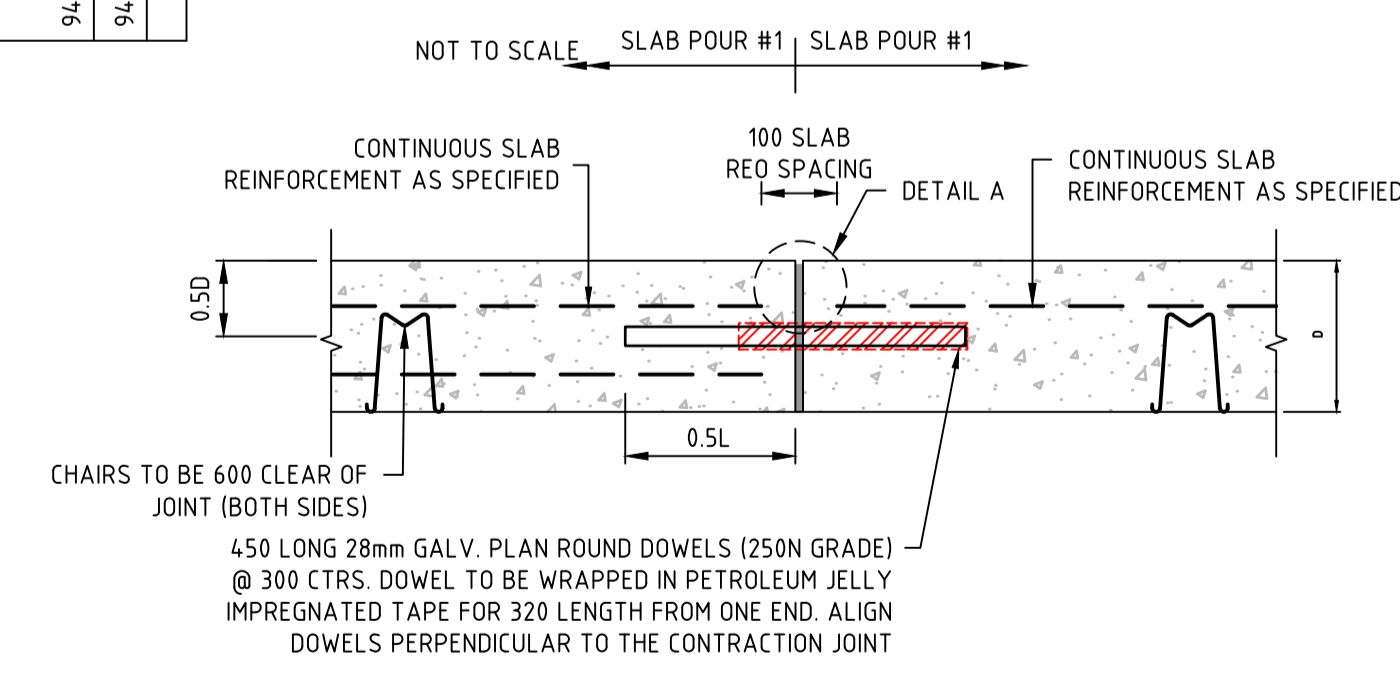
CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
G1-G2	10.103	3.916	3.892	0.189	-0.047



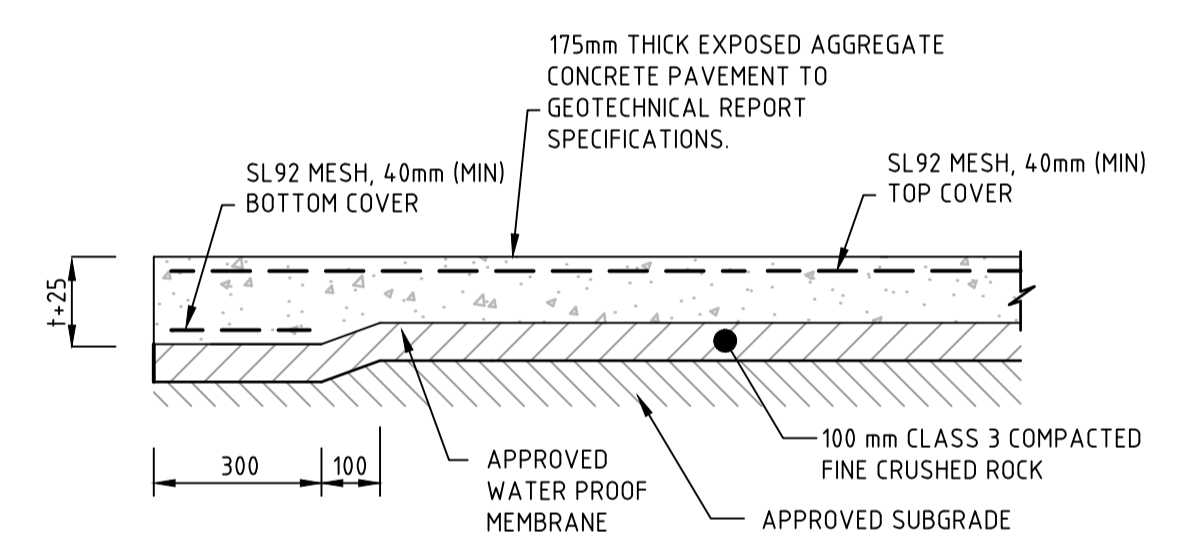
KERB TIED EDGE DETAIL (TE)
NOT TO SCALE



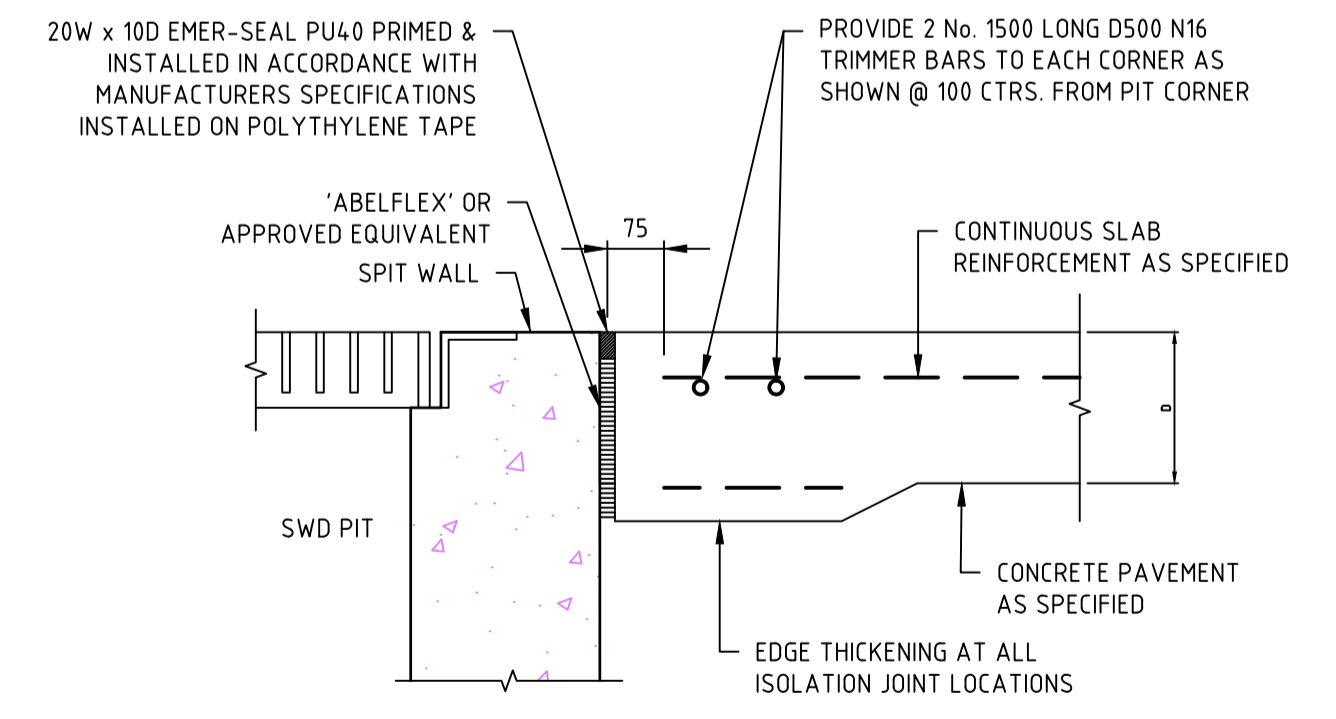
LONGITUDINAL JOINT (LJ)
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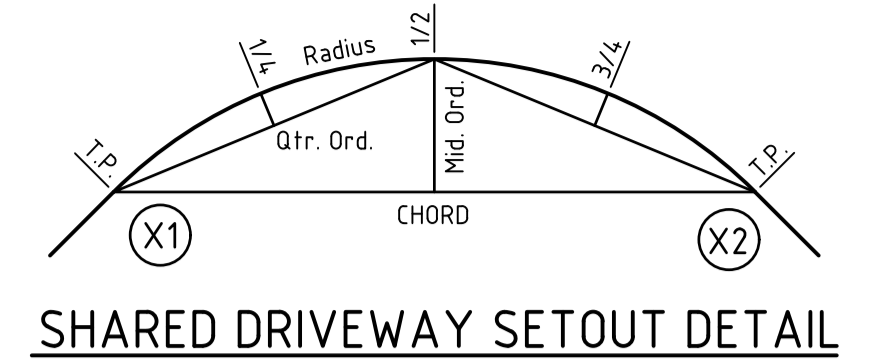
CONSTRUCTION JOINT (CJ)
NOT TO SCALE



CONCRETE PAVEMENT - EDGE THICKENING
NOT TO SCALE



PIT / SLAB PENETRATION ISOLATION JOINT (IJ)
NOT TO SCALE



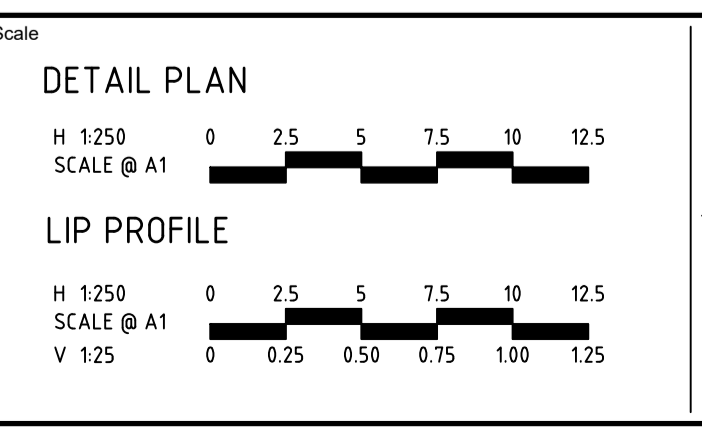
SHARED DRIVEWAY SETOUT DETAIL

GENERAL NOTES - CONCRETE:

- ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CCAA LITERATURE, OR VIC ROADS STANDARDS FOR NON RESIDENTIAL STREETS.
- REFER GEOTECHNICAL REPORT FOR SHARED DRIVEWAY CONCRETE COMPRESSIVE STRENGTH
- CONCRETE TO BE THOROUGHLY COMPACTED USING EITHER SURFACE AND/OR IMMERSION VIBRATORS, PARTICULARLY AROUND REINFORCEMENT AND IN CORNERS OF FORMS.
- PRIOR TO CASTING, THE UNBOUND GRANULAR SUBBASE MUST BE DAMP TO ENSURE NO EARLY "DRYING OUT" OF THE CONCRETE.
- CURING OF CONCRETE IS ESSENTIAL - IDEALLY BY MAINTAINING WET HESSIAN OR SEALING WITH PLASTIC SHEETING.
- SAW CUTTING OF CONCRETE SHOULD BE COMMENCED AS SOON AS CONCRETE PERMITS BY EXPERIENCED CONTRACTORS, BUT NO LATER THAN 12 HOURS AFTER POUR.
- ALL DOWELS TO BE GRADE 250N STEEL BARS, 450mm LONG AND PLACED AT 300mm CENTRES. REFER CCAA - "CONCRETE PAVEMENT DESIGN FOR RESIDENTIAL STREETS" FOR DOWEL DIAMETERS. DOWELS MUST BE ACCURATELY PLACED TO ENSURE THE JOINT DOES NOT "LOCK". INSERTION OF DOWELS DURING THE PLACING OF CONCRETE IS NOT ACCEPTABLE. DOWELS MUST BE SAWN AND NOT CROPPED.
- ALL JOINTS TO BE APPROPRIATELY SEALED TO RESIST THE INTRUSION OF SAND AND GRAVEL AND TO MINIMISE THE INGRESS OF WATER.
- VARIATION TO JOINT LAYOUT BY CONTRACTOR WILL NOT BE ACCEPTED WITHOUT SPECIFIC WRITTEN APPROVAL OF SUPERINTENDING & COUNCIL.
- REFER TO GEOTECH REPORT 25C 0917-2-R1 PREPARED BY GEOTECHNICAL TESTING SERVICES FOR RIGID PAVEMENT CONSTRUCTION.

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Rev	Amendments	Approved	Date
B	ISSUED FOR APPROVAL	A.A.	13/03/26
A	ISSUED TO CLIENT FOR REVIEW	A.A.	27/02/26



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 VICTORIA 3630 AUSTRALIA T 61 3 5849 1000
 spiire.com.au ABN 55 050 029 635

Designed M. ISMAIL	Checked U. PAFFRATH
Authorised A. ANDERSSON (PE0007863)	Date 10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
 RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
 ROAD AND DRAINAGE
 INTERSECTION DETAILS - SHEET 3
 CITY OF GREATER SHEPPARTON
 HOSIE ROAD SHEPPARTON PTY LTD**

PRELIMINARY Dwg No **322906-001CR502** Rev **B**

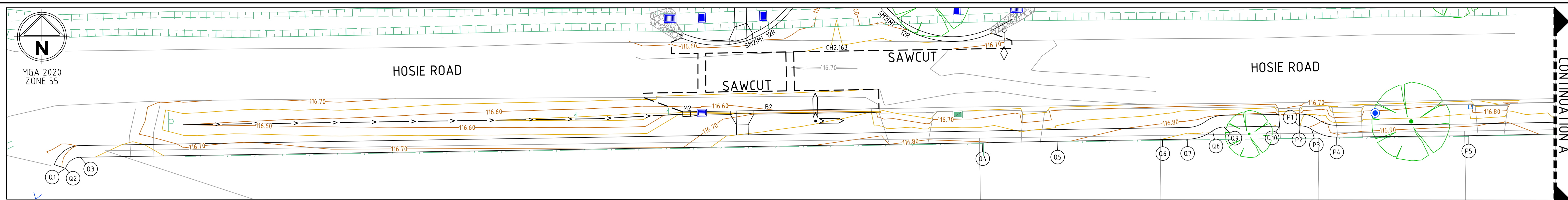


HOSIE ROAD

SAWCUT

HOSIE ROAD

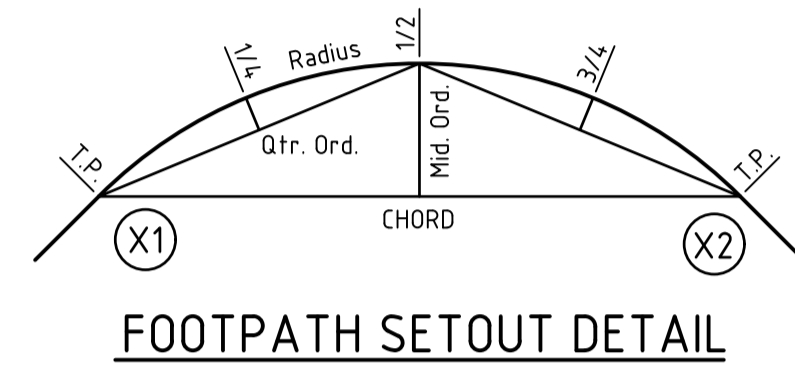
CONTINUATION A



ALIGNMENT Q

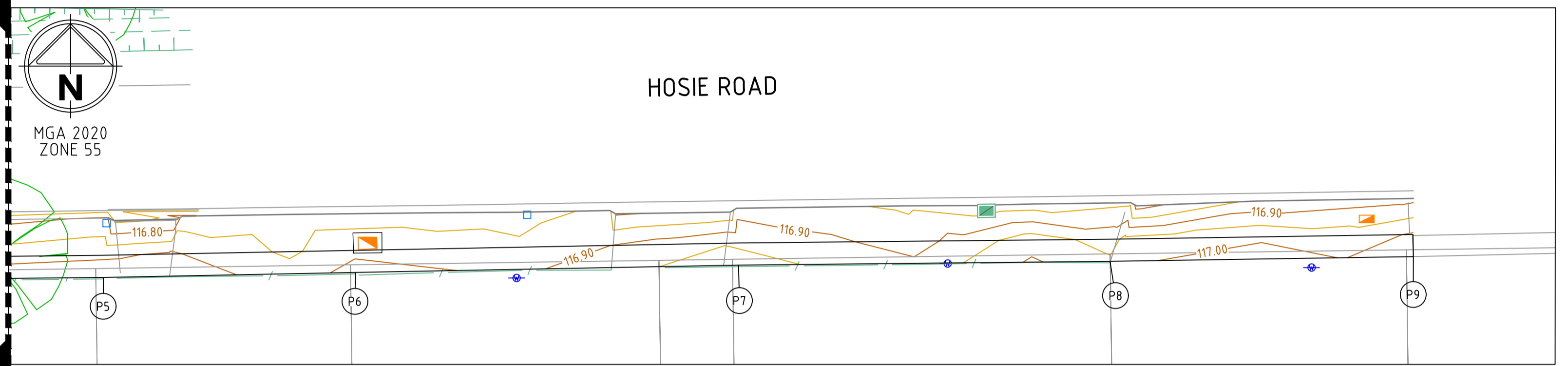
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Q1	362927.929	5970697.958	116.710
Q2	362927.942	5970697.996	116.710
1/4	362928.222	5970698.545	116.716
1/2	362928.656	5970699.982	116.721
3/4	362929.203	5970699.266	116.727
Q3	362929.810	5970699.371	116.733
Q4	363044.951	5970701.220	116.803
Q5	363054.516	5970701.418	116.792
Q6	363067.965	5970701.634	116.851
Q7	363071.187	5970701.682	116.865
1/4	363072.036	5970701.760	116.863
1/2	363072.862	5970701.968	116.860
3/4	363073.646	5970702.302	116.854
Q8	363074.369	5970702.753	116.844
1/4	363074.698	5970702.957	116.840
1/2	363075.054	5970703.109	116.836
3/4	363075.429	5970703.204	116.832
Q9	363075.815	5970703.239	116.830
Q10	363082.913	5970703.343	116.82

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
Q2-Q3	2.000	2.474	2.319	0.371	0.095
Q7-Q8	5.500	3.411	3.357	0.262	-0.066
Q8-Q9	2.500	1.551	1.526	0.119	0.030

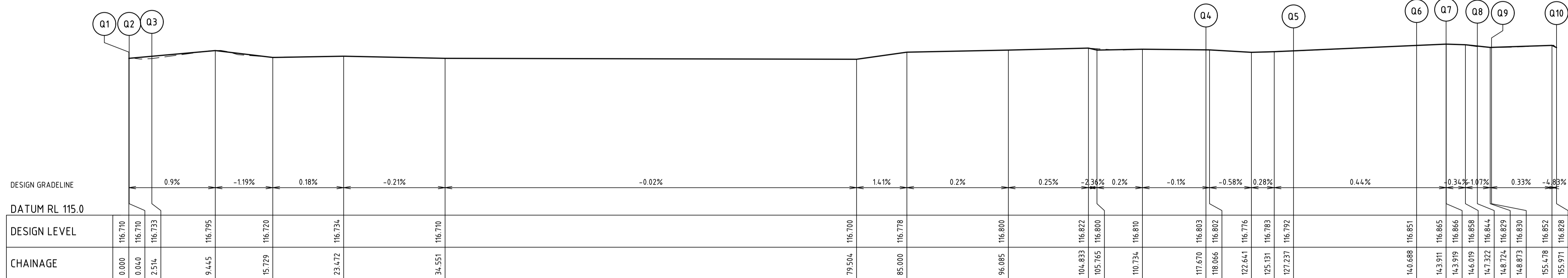


FOOTPATH SETOUT DETAIL

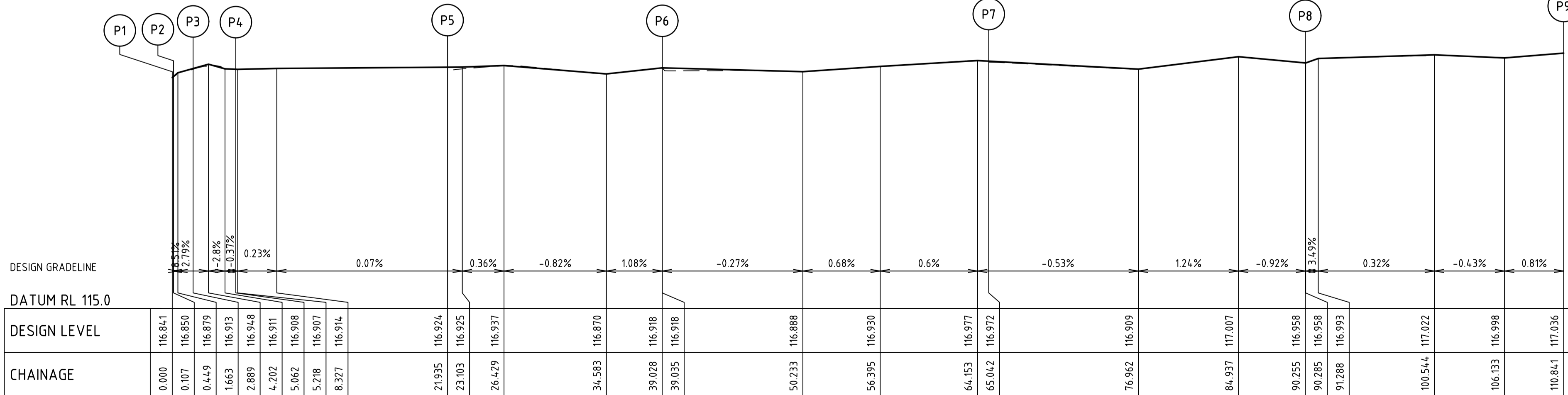
INTERSECTION DETAIL PLAN
HOISIE ROAD FOOTPATH (SOUTH)



INTERSECTION DETAIL PLAN
HOISIE ROAD FOOTPATH (SOUTH)



ALIGNMENT Q



ALIGNMENT P

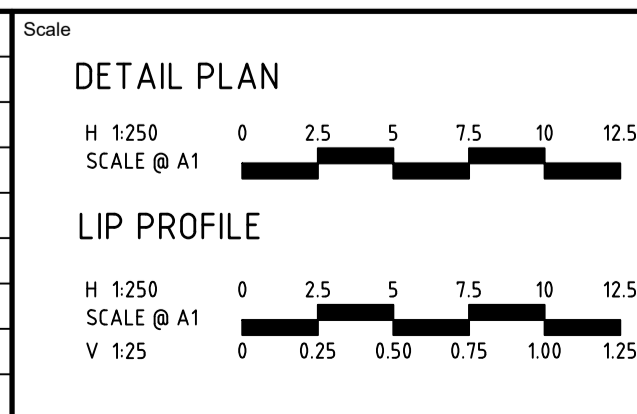
ALIGNMENT P

POINT NO	EASTING	NORTHING	RL
P1	363085.435	5970703.380	116.841
P2	363085.542	5970703.382	116.850
1/4	363085.930	5970703.357	116.881
1/2	363086.309	5970703.273	116.892
3/4	363086.670	5970703.131	116.903
P3	363087.006	5970702.934	116.913
1/4	363087.738	5970702.505	116.937
1/2	363088.528	5970702.193	116.934
3/4	363089.356	5970702.007	116.911
P4	363090.203	5970701.950	116.908
P5	363107.075	5970702.127	116.924
P6	363124.172	5970702.463	116.918
P7	363150.175	5970702.961	116.972
P8	363175.386	5970703.219	116.958
P9	363195.969	5970703.538	

CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
P2-P3	2.500	1.555	1.531	0.120	0.030
P3-P4	5.500	3.399	3.345	0.261	-0.066

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VICTORIA 3630 AUSTRALIA T 61 3 5849 1000
spiire.com.au ABN 55 050 029 635

Designed M. ISMAIL	Checked U. PAFFRATH
Authorised A. ANDERSSON (PE0007863)	Date 10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
ROAD AND DRAINAGE
INTERSECTION DETAILS - SHEET 4
CITY OF GREATER SHEPPARTON
HOSIE ROAD SHEPPARTON PTY LTD**

PRELIMINARY Dwg No **322906-001CR503** Rev **B**



1% AEP STORAGE LEVEL 115.80
LOCALISED FILLING AROUND AND ABOVE DRAINAGE OUTFALL PIPE AS REQUIRED.

CONSTRUCT HEADWALL TO SUIT 675Ø PIPE.

Pipe Diameter
Pipe Class
Pipe Grade
Velocity (m/s)
Pipe Flow (m³/s)
Pipe Capacity (m³/s)

DATUM

DEPTH TO INVERT

DESIGN INVERT LEVEL

HYDRAULIC GRADE LEVEL

FINISHED SURFACE LEVEL

EXISTING SURFACE LEVEL

CHAINAGE

Station	01	02	03	04	05	06	07	08	09	10	10A	08	08A	06	06A	
Location	DRAINAGE RESERVE					SHARED DRIVEWAY		SHARED DRIVEWAY		DEMARIA COURT (COURTBOWL)			DEMARIA COURT		DEMARIA COURT	
DATUM	111.00															
DEPTH TO INVERT	1.125	1.125	1.919	2.010	2.010	2.053	2.010	1.755	1.765	1.392	1.275	1.657	1.535	1.656	1.535	
DESIGN INVERT LEVEL	114.54	114.54	114.81	114.81	114.81	114.371	114.537	114.659	114.835	115.002	115.026	114.758	114.786	114.768	114.797	
HYDRAULIC GRADE LEVEL	114.828	114.828	114.856	114.884	114.884	114.253	114.253	114.468	114.659	114.835	115.002	114.835	114.835	114.835	114.835	
FINISHED SURFACE LEVEL	115.280	115.280	116.100	116.219	116.219	116.424	116.547	116.629	116.600	116.394	116.301	116.629	116.629	116.629	116.629	
EXISTING SURFACE LEVEL	116.472	116.489	116.689	116.685	116.685	116.502	116.588	116.629	116.608	116.598	116.616	116.629	116.629	116.629	116.629	
CHAINAGE	0.000	L=8.177m	L=8.384m	L=12.974m	L=9.112m	L=26.348m	L=50.010m	L=36.381m	L=52.990m	L=50.053m	L=7.131m	L=7.141m	L=7.141m	L=7.125m	L=7.125m	
Pipe Diameter	Ø675	Ø675	Ø675	Ø675	Ø600	Ø600	Ø600	Ø525	Ø450	Ø375	Ø375	Ø375	Ø375	Ø375	Ø375	
Pipe Class	Class 2	Class 2	Class 2	Class 2	Class 2	Class 2	Class 2	Class 2	HDPE	HDPE	Class 3	Class 2	Class 2	Class 2	Class 2	
Pipe Grade	1 in 300	1 in 300	1 in 300	1 in 300	1 in 300	1 in 300	1 in 300	1 in 300	1 in 300	1 in 300	1 in 300	1 in 251	1 in 251	1 in 250	1 in 250	
Velocity (m/s)	Vf=1.357	Vf=1.357	Vf=1.357	Vf=1.357	Vf=1.254	Vf=1.254	Vf=1.254	Vf=1.147	Vf=1.035	Vf=0.917	Vf=0.917	Vf=1.003	Vf=1.003	Vf=1.004	Vf=1.004	
Pipe Flow (m ³ /s)	Qa=0.412	Qa=0.415	Qa=0.370	Qa=0.370	Qa=0.330	Qa=0.326	Qa=0.287	Qa=0.215	Qa=0.135	Qa=0.076	Qa=0.015	Qa=0.057	Qa=0.057	Qa=0.028	Qa=0.028	
Pipe Capacity (m ³ /s)	Qcap=0.486	Qcap=0.486	Qcap=0.486	Qcap=0.486	Qcap=0.355	Qcap=0.355	Qcap=0.355	Qcap=0.248	Qcap=0.165	Qcap=0.101	Qcap=0.101	Qcap=0.111	Qcap=0.111	Qcap=0.111	Qcap=0.111	

Pipe Diameter
Pipe Class
Pipe Grade
Velocity (m/s)
Pipe Flow (m³/s)
Pipe Capacity (m³/s)

DATUM

DEPTH TO INVERT

DESIGN INVERT LEVEL

HYDRAULIC GRADE LEVEL

FINISHED SURFACE LEVEL

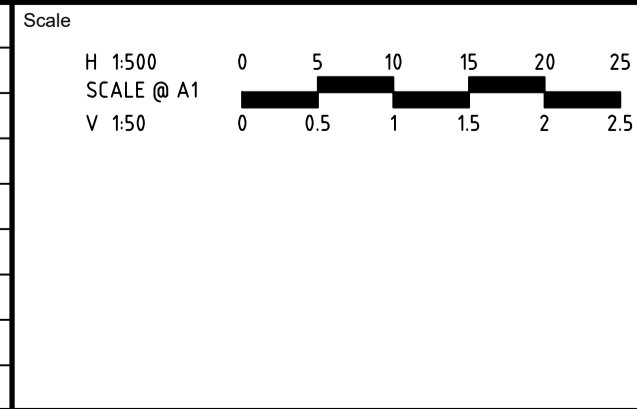
EXISTING SURFACE LEVEL

CHAINAGE

Station	11	12	13	14	15	12	16	13	13A	13B	PS	17	
Location	FOOTPATH					DEMARIA COURT		HOSIE ROAD		DEMARIA COURT		DRAINAGE RESERVE	
DATUM	112.00												
DEPTH TO INVERT	0.544	0.544	0.631	1.182	0.677	0.631	1.208	1.107	0.925	0.925	3.667	0.300	
DESIGN INVERT LEVEL	115.997	115.997	116.004	115.427	115.970	115.427	115.502	115.518	115.561	115.561	112.949	113.050	
HYDRAULIC GRADE LEVEL	115.997	115.997	116.000	115.443	116.000	115.443	116.000	115.518	115.561	115.561	112.949	113.050	
FINISHED SURFACE LEVEL	116.544	116.544	116.635	116.025	116.447	116.635	116.530	116.625	116.485	116.485	116.635	116.712	
EXISTING SURFACE LEVEL	116.001	116.011	116.016	115.915	116.016	116.011	116.011	116.016	116.741	116.741	116.437	116.472	
CHAINAGE	0.000	L=3.450m	L=7.827m	L=24.705m	L=7.041m	L=12.156m	L=10.653m	L=6.600m	L=10.653m	L=6.600m	L=30.392m	L=30.392m	
Pipe Diameter	Ø450	Ø450	Ø450	Ø450	Ø450	Ø375	Ø375	Ø375	Ø375	Ø375	Ø300	Ø300	
Pipe Class	Class 4	Class 4	Class 4	Class 6	Class 4	Class 4	Class 4	Class 4	Class 6	Class 6	Class 2	Class 2	
Pipe Grade	1 in 500	1 in 500	1 in 500	1 in 500	1 in 500	1 in 250	1 in 250	1 in 250	1 in 250	1 in 250	1 in 300	1 in 300	
Velocity (m/s)	Vf=0.802	Vf=0.802	Vf=0.802	Vf=0.802	Vf=0.802	Vf=1.004	Vf=1.004	Vf=1.004	Vf=1.004	Vf=1.004	Vf=0.793	Vf=0.793	
Pipe Flow (m ³ /s)	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.000	Qa=0.056	
Pipe Capacity (m ³ /s)	Qcap=0.128	Qcap=0.128	Qcap=0.128	Qcap=0.128	Qcap=0.128	Qcap=0.111	Qcap=0.111	Qcap=0.111	Qcap=0.111	Qcap=0.111	Qcap=0.056	Qcap=0.056	

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Rev	Amendments	Approved	Date
C	ISSUED FOR APPROVAL	A.A.	13/03/26
B	ISSUED FOR INFORMATION	A.A.	11/03/26
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Designed
M. ISMAIL
Authorised
A. ANDERSSON (PE0007863)
Checked
U. PAFFRATH
Date
10/03/2026

1 - 3 HOSIE ROAD SHEPPARTON EAST
RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
ROAD AND DRAINAGE
DRAINAGE LONG SECTIONS - SHEET 1
CITY OF GREATER SHEPPARTON
HOSIE ROAD SHEPPARTON PTY LTD
PRELIMINARY Dwg No **322906-001CR600** Rev **C**

DRAINAGE PIT SCHEDULE

PIT NAME	PIT TYPE	COORDINATES		INTERNAL		INLET		OUTLET		PIT		REMARKS
		EASTINGS	NORTHINGS	WIDTH	LENGTH	DIA	INV LEVEL	DIA	INV LEVEL	FS LEVEL	DEPTH	
01	ENDWALL	362994.671	5971050.046	0	0	675	114.154			115.280	0.450	HEADWALL & LOCKABLE GATE TO SUIT 675 DIA PIPE.
02	GROSS POLLUTANT TRAP	363002.043	5971046.509	0	0	675	114.181	675	114.181	116.100	1.919	INSTALL ATLAN VORTCEPTOR INLINE. REFER TO NOTES 1, 2 & 9.
03	GRADED ENTRY PIT	363009.617	5971042.915	900	900	675	114.209	675	114.209	116.219	2.010	REFER TO NOTES 1, 2 & 3.
04	GRADED ENTRY PIT	363009.825	5971029.943	600	900	600	114.253	675	114.253	116.262	2.010	REFER TO NOTES 1, 2 & 3.
05	GRADED ENTRY PIT	363008.931	5971020.875	600	900	600	114.283	600	114.283	116.207	1.924	REFER TO NOTES 1, 2 & 3.
06	GRADED ENTRY PIT	363001.693	5970995.541	1650	900	600	114.371	600	114.371	116.424	2.053	REFER TO NOTES 1, 2, 4 & 5.
						375	114.768					
07	JUNCTION PIT	363002.117	5970945.532	900	900	525	114.537	600	114.537	116.547	2.010	REFER TO NOTES 1, 2, 3 & 7.
08	GRADED ENTRY PIT	363003.057	5970909.163	1650	900	450	114.659	525	114.659	116.414	1.755	REFER TO NOTES 1, 2, 4 & 5.
						375	114.758					
09	JUNCTION PIT	363017.513	5970858.408	900	900	375	114.835	450	114.835	116.600	1.765	REFER TO NOTES 1, 2, 3 & 7.
10	GRADED ENTRY PIT	363021.031	5970808.619	1650	900	375	115.002	375	115.002	116.394	1.392	REFER TO NOTES 1, 2, 4 & 5.
10A	GRADED ENTRY PIT	363028.160	5970808.738	600	900			375	115.026	116.301	1.275	REFER TO NOTES 1, 2, 3 & 6.
08A	GRADED ENTRY PIT	363010.197	5970909.277	600	900			375	114.786	116.321	1.535	REFER TO NOTES 1, 2, 3 & 6.
06A	GRADED ENTRY PIT	363008.816	5970995.654	600	900			375	114.797	116.332	1.535	REFER TO NOTES 1, 2, 3 & 6.
11	DRIVEABLE HEADWALL	363005.716	5970717.137	0	0	450	115.997			116.541	0.544	DRIVEABLE ENDWALL TO SUIT 450 DIA PIPE.
12	JUNCTION PIT	363009.165	5970717.226	600	900	450	115.427	450	116.004	116.635	1.208	REFER TO NOTES 1, 2, 3 & 7.
						375	115.502					
13	JUNCTION PIT	363016.989	5970717.451	600	900	450	115.443	450	115.443	116.625	1.182	REFER TO NOTES 1, 2, 3 & 7.
						375	115.518					
14	JUNCTION PIT	363041.684	5970718.162	600	900	450	115.956	450	115.492	116.740	1.248	REFER TO NOTES 1, 2, 3 & 7.
15	DRIVEABLE HEADWALL	363048.722	5970718.390	0	0			450	115.970	116.647	0.677	DRIVEABLE ENDWALL TO SUIT 450 DIA PIPE.
16	GRADED SIDE ENTRY PIT	363009.168	5970705.070	600	900			375	115.551	116.530	0.979	REFER TO NOTES 1, 2, 3 & 8.
13A	GRADED ENTRY PIT	363022.876	5970726.330	600	900	375	115.561	375	115.561	116.485	0.925	REFER TO NOTES 1, 2, 3 & 7.
13B	GRADED ENTRY PIT	363029.475	5970726.434	600	900			375	115.587	116.485	0.898	REFER TO NOTES 1, 2, 3 & 7.
PS	PUMP STATION	363001.446	5971084.359	0	0	300	112.949			116.616	3.667	REFER TO AQUATEC DRAWING NO. (TBC)
17	ENDWALL	362981.315	5971061.590	0	0			300	113.050	113.350	0.300	HEADWALL TO SUIT 300 DIA PIPE.

DRAINAGE PIT SCHEDULE NOTES:

- ALL PIT LEVELS ARE TO TOP OF PIT LID.
- PIT LID & SURROUND TO BE INSTALLED AT GRADE TO MATCH FINISHED SURFACE LEVELS.
- REFER TO IDM STANDARD DRAWING SD4.05, FOR CONSTRUCTION OF DRAINAGE PITS (UNHAUNCHED).
- REFER TO IDM STANDARD DRAWING SD4.10, FOR CONSTRUCTION OF DRAINAGE PITS (HAUNCHED).
- REFER TO IDM STANDARD DRAWING SD4.80, FOR CONSTRUCTION OF GRADED PIT (SM2-M KERB).
- REFER TO IDM STANDARD DRAWING SD4.81, FOR CONSTRUCTION OF ALTERNATE GRADED PIT (SM2-M UPSTREAM ONLY).
- REFER TO IDM STANDARD DRAWING SD4.20, FOR CONSTRUCTION OF JUNCTION PIT IN ROAD RESERVE.
- REFER TO IDM STANDARD DRAWING SD4.75, FOR CONSTRUCTION OF GRADED SIDE ENTRY PIT (B2 KERB).
- REFER TO ATLAN DRAWING NO. IVOR.160-22.R.750.RCP.GA. FOR CONSTRUCTION OF GROSS POLLUTANT TRAP.

DISCLAIMER:

CONSTRUCTION OF ALL DRAINAGE PITS ARE TO BE IN LINE WITH THE STANDARDS SET OUT IN THE IDM.

GENERAL DRAINAGE PIT NOTES:

- ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND IDM STANDARDS.
- FOR TRENCHING BACKFILL FOR DRAINAGE PIPES REFER TO IDM STANDARD DRAWING SD3.10.
- FOR TYPICAL PIT DIMENSIONING AND SETTING OUT DETAIL REFER TO IDM STANDARD DRAWING SD4.00.
- FOR MINIMAL WALL THICKNESS FOR REINFORCEMENT IN MASS CONCRETE PITS REFER TO IDM STANDARD DRAWING SD4.15.
- FOR PROPERTY CONNECTIONS INTO PITS REFER TO IDM STANDARD DRAWING SD5.10.
- FOR PROPERTY CONNECTIONS INTO PIPE REFER TO IDM STANDARD DRAWING SD5.15.
- REFER TO TYPICAL DRAINAGE PIT SETOUT DETAILS AND PIT SETOUT CO-ORDINATES TABLE FOR NOMINATED PITS.
- LIGHTWEIGHT DRAINAGE PIT COVERS TO BE USED AS SPECIFIED ON IDM STANDARD DRAWINGS.

DISCLAIMER:

CONSTRUCTION OF ALL DRAINAGE PITS AND DRAINAGE WORKS ARE TO BE IN LINE WITH THE STANDARDS SET OUT IN THE IDM.



EXAMPLE OF WELL INTERLOCKED ROCKWORK WITH SEALED VOIDS

ROCK SIZE DISTRIBUTION TABLE

ROCK DIA %	ROCK SIZE (mm)
d50	300
d100	600
d90	540
d75	450
d65	390
d40	195
d33	150
d25	135
d10	60

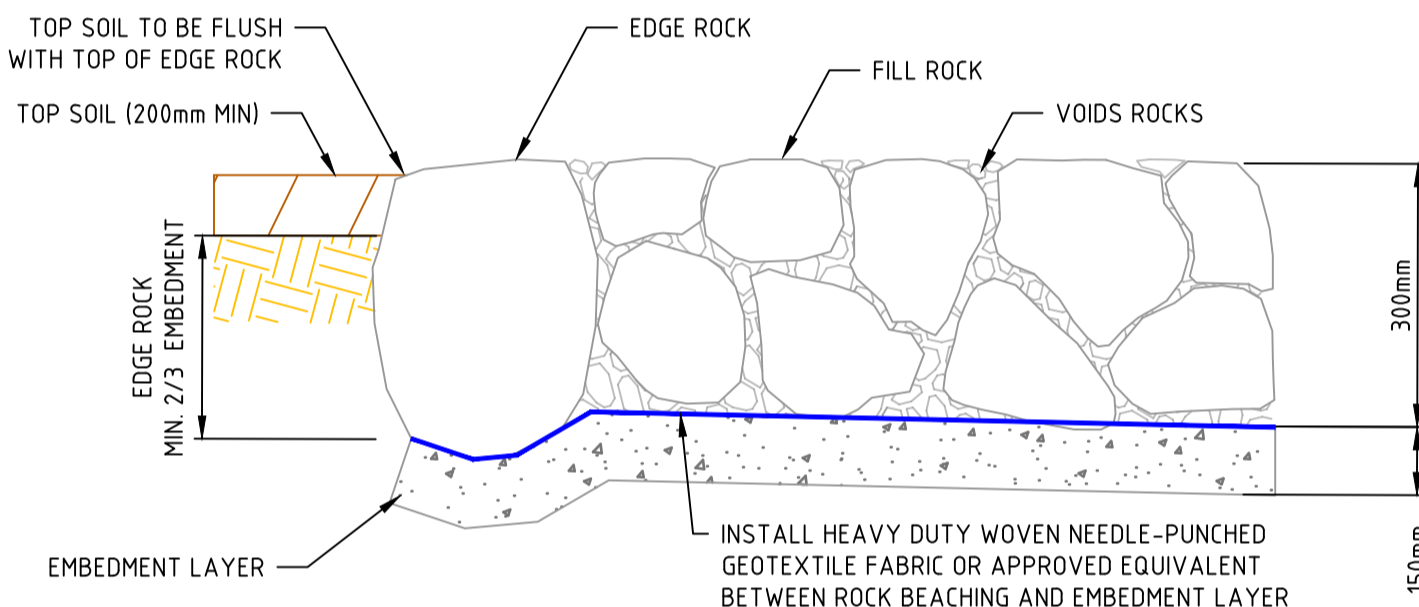
NOTE:
d50 IS DEFINED AS THE PARTICLE SIZE OF WHICH 50% OF THE ROCKS ARE SMALLER BY WEIGHT. d90, 90% ETC.

ROCK BEACHING INSTALLATION PROCEDURE:

- EXCAVATE/BOX OUT AREA ENSURING THAT THE SUB-GRADE IS DEEP ENOUGH TO ALLOW EDGE ROCKS TO BE MIN 2/3 EMBEDDED INTO VIRGIN GROUND OR APPROVED COMPACTED FILL.
- INSTALL EMBEDMENT LAYER AND COMPACT TO ACHIEVE 150mm MINIMUM THICKNESS.
- INSTALL KEY EDGE ROCKS TO 2/3 DIAMETER INTO UNDISTURBED MATERIAL.
- PLACE FIRST LAYER OF FILL ROCK. USE METHODS FOR HANDLING AND PLACEMENT OF ROCK THAT WILL AVOID SEGREGATION OF ROCK SIZE FRACTIONS.
- PLACE VOID ROCKS AND SWEEP THROUGH TO FILL VOIDS. THEN HOSE DOWN WITH LOW PRESSURE TO ALLOW VOID ROCKS TO FULLY SETTLE INTO VOIDS.
- REPEAT (STEP 5) UNTIL NO MORE SETTLEMENT OCCURS AND ROCK BEACHING IS FULLY LOCKED IN.
- PLACE SECOND LAYER OF FILL ROCK. USE METHODS FOR HANDLING AND PLACEMENT OF ROCK THAT WILL AVOID SEGREGATION OF ROCK SIZE FRACTIONS.
- PLACE VOID ROCKS AND SWEEP THROUGH TO FILL VOIDS. THEN HOSE DOWN WITH LOW PRESSURE TO ALLOW VOID ROCKS TO FULLY SETTLE INTO VOIDS.
- REPEAT (STEP 8) UNTIL NO MORE SETTLEMENT OCCURS AND ROCK BEACHING IS FULLY LOCKED IN.

ROCK BEACHING NOTES:

- ROCK SHALL BE CAREFULLY PLACED INTO POSITION, ROCK SHALL NOT BE DUMPED DIRECTLY.
- IT IS IMPERATIVE THAT FILL ROCKS USED TO FORM THE ROCK PAD ARE WELL GRADED WITH MINIMAL VOIDS TO PRODUCE A BLANKET OF INTERLOCKING ROCK.
- VOIDS SHOULD BE NO LARGER THAN 50mm IN ANY DIRECTION.
- REFER TO TYPICAL ROCK BEACHING DETAIL FOR MORE DETAIL ON ROCK SIZING, ROCK GRADING AND CONSTRUCTION METHODOLOGY.

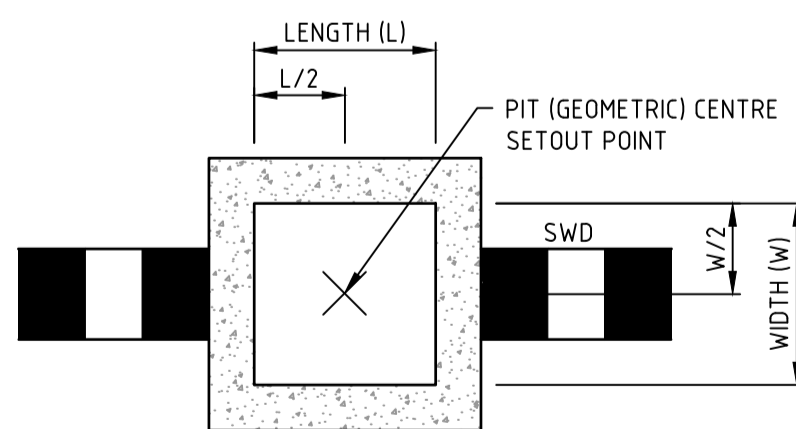


ROCK BEACHING NOTES:
NOTE: TYPICAL ROCK BEACHING DETAIL USED FOR SEDIMENT POND INLET AND OVERFLOW ROCKWORK.

EMBEDMENT LAYER:	150mm (MIN) THICK LAYER, COMPACTED WELL, 40mm NDCR (NON-DESCRIPT CRUSHED ROCK)
EDGE ROCKS:	300mm DIA. OR LARGER, 2/3 EMBEDDED
FILL ROCKS:	150-300mm DIA. ANGULAR, LOCKED, WELL GRADED ROCKS INTERLOCKED IN PLACE
VOIDS:	60-195mm DIA. ANGULAR, LOCKED, WELL GRADED ROCKS INTERLOCKED IN PLACE

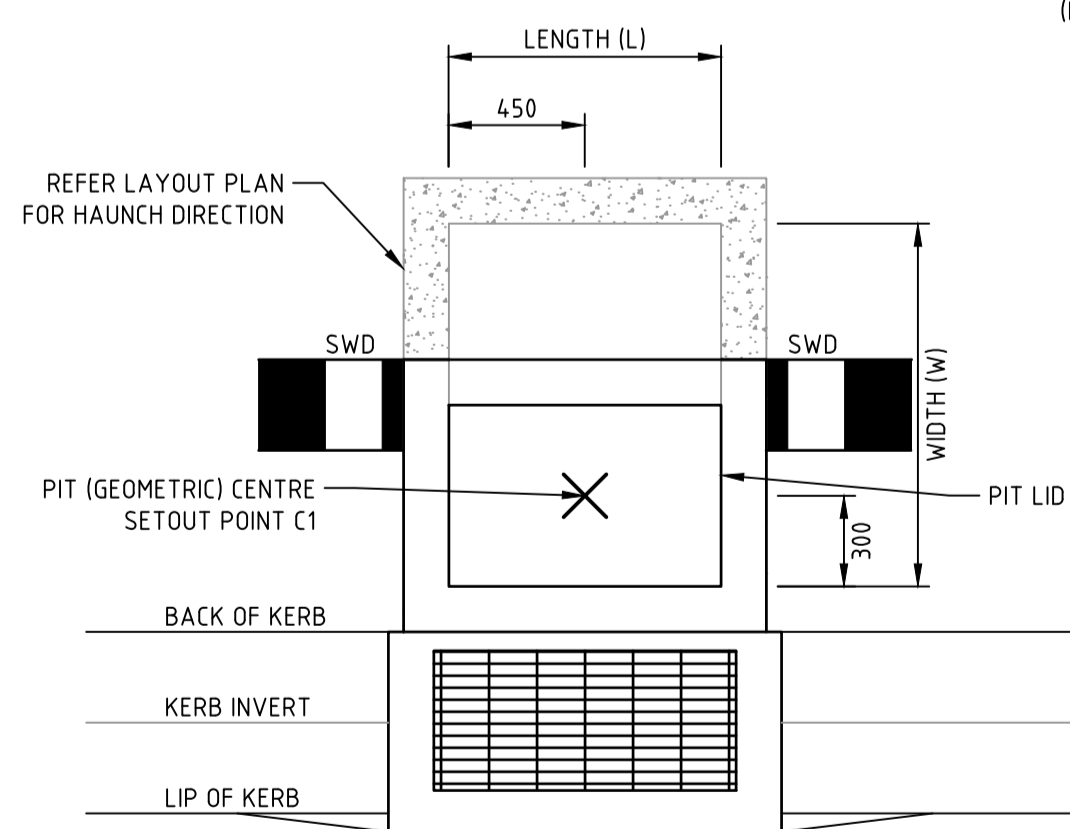
TYPICAL ROCK BEACHING DETAIL

(NOT TO SCALE)



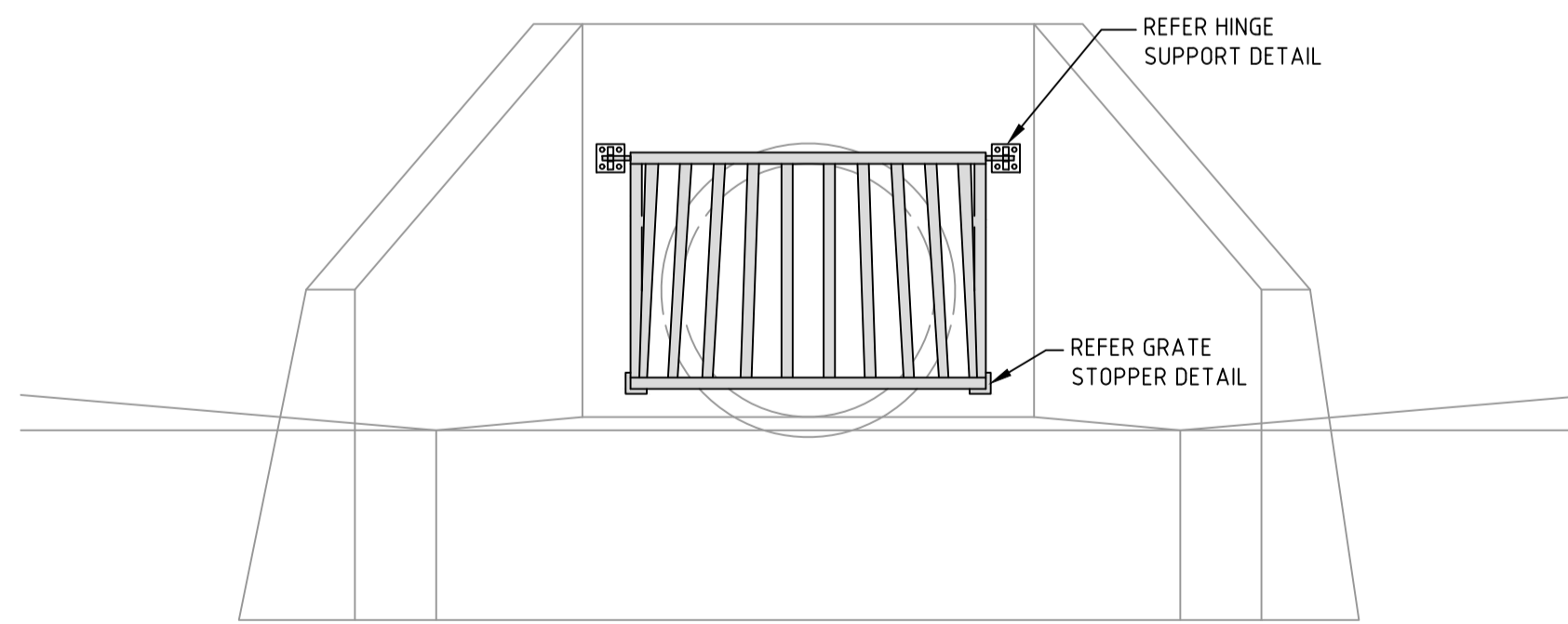
DRAINAGE PIT SETOUT POINT

GEOMETRIC SETOUT POINT FOR UNHAUNCHED PIT
NOT TO SCALE



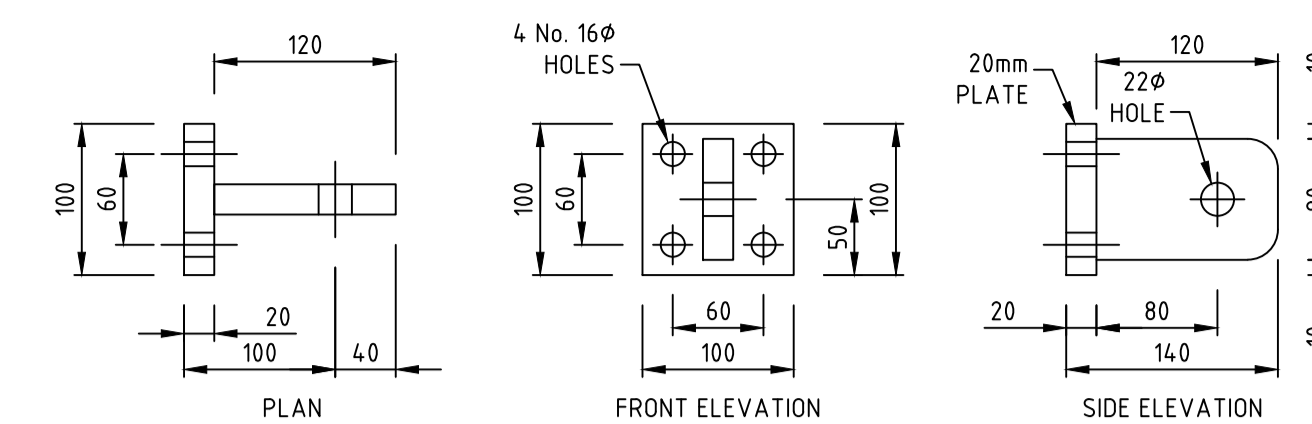
DRAINAGE PIT SETOUT POINT

GEOMETRIC SETOUT POINT FOR HAUNCHED PIT
NOT TO SCALE



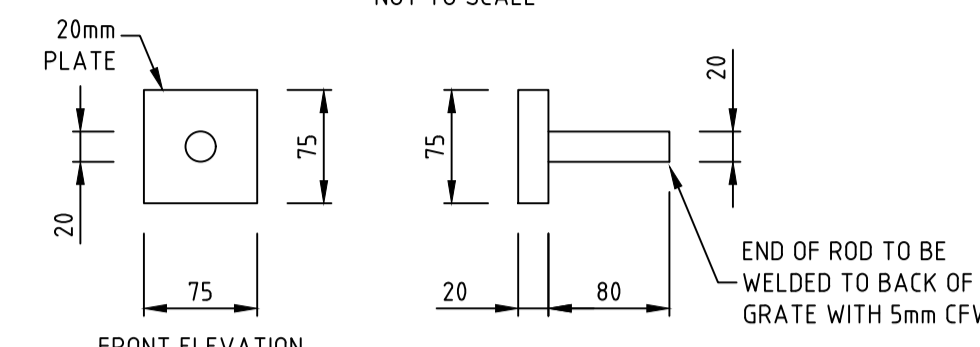
TYPICAL COUNCIL HINGED GRATE (FRONT ELEVATION)

NOT TO SCALE



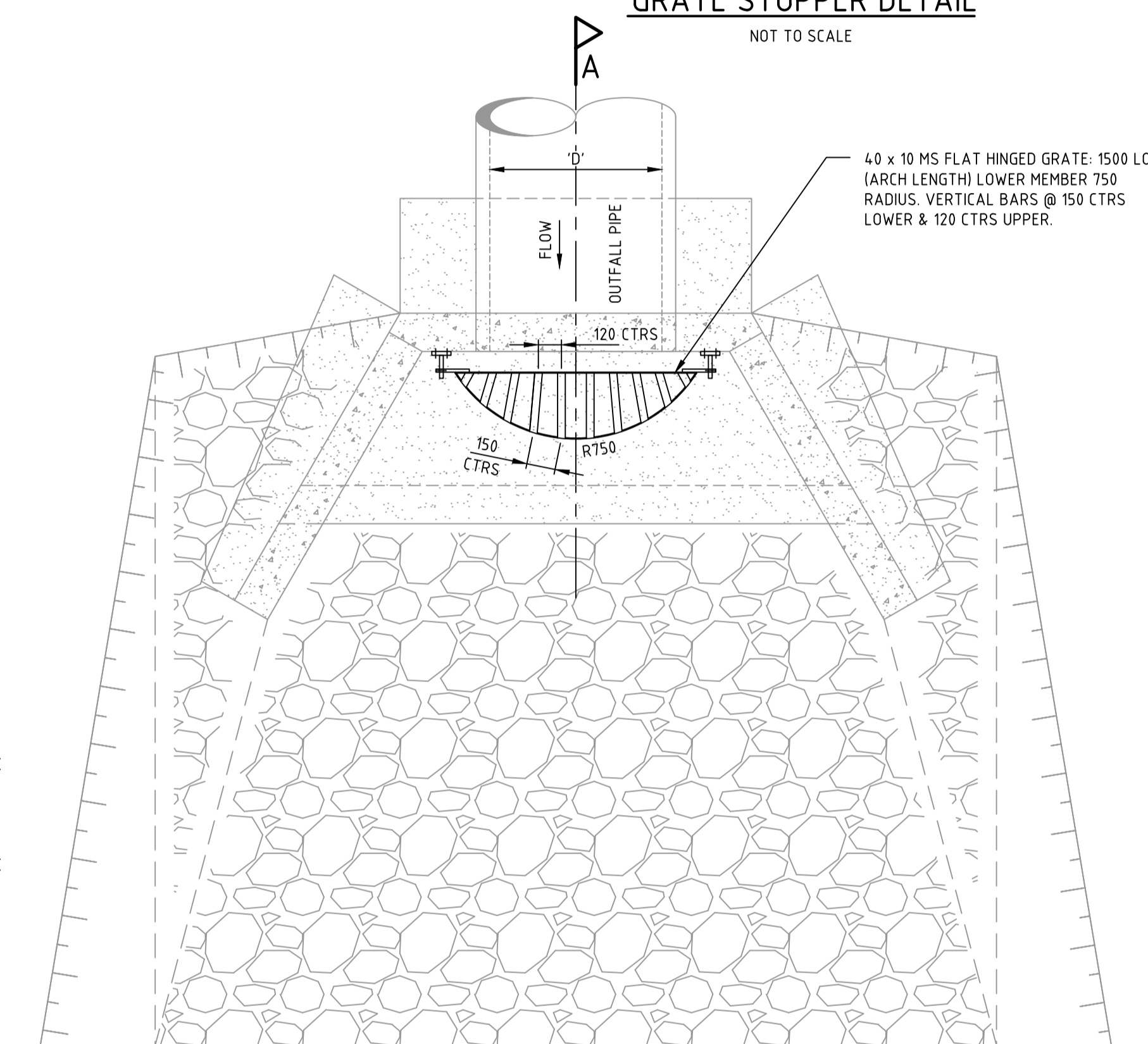
HINGE SUPPORT DETAIL

NOT TO SCALE



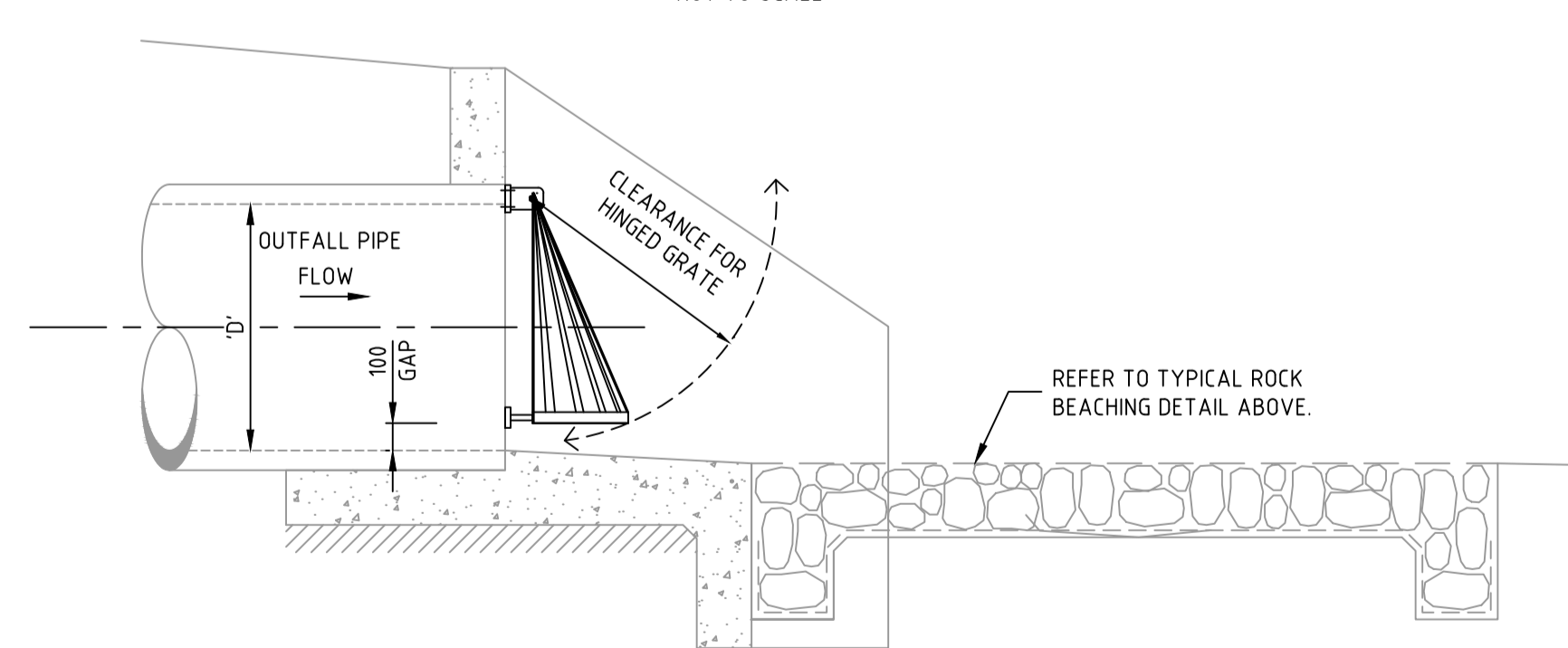
GRATE STOPPER DETAIL

NOT TO SCALE



TYPICAL COUNCIL HINGED GRATE (PLAN)

NOT TO SCALE

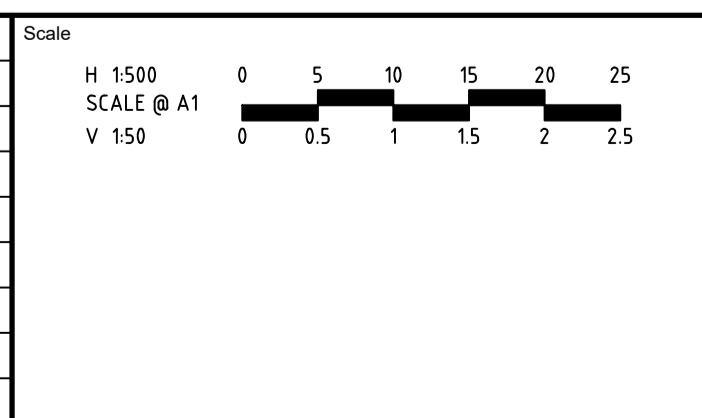


TYPICAL COUNCIL HINGED GRATE (SECTION A-A)

NOT TO SCALE

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Rev	Amendments	Approved	Date
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B	ISSUED FOR INFORMATION	A.A.	11/03/26
A	ISSUED TO CLIENT FOR REVIEW	A.A.	27/02/26



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144 WELSFORD STREET SHEPPARTON
VICTORIA 3630 AUSTRALIA T 61 3 5849 1000
spiire.com.au ABN 55 050 029 635

Designed
M. ISMAIL
Authorised
A. ANDERSSON (PE0007863)

Checked
U. PAFFRATH
Date
10/03/2026

1 - 3 HOSIE ROAD SHEPPARTON EAST
RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
ROAD AND DRAINAGE
PIT SCHEDULE & TYPICAL DETAILS
CITY OF GREATER SHEPPARTON
HOSIE ROAD SHEPPARTON PTY LTD
PRELIMINARY Drg No **322906-001CR601** Rev **C**

UNBOUND GRANULAR PAVEMENT DETAILS (FLEXIBLE PAVEMENT)

PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)
ASPHALT WEARING COURSE	SIZE 10mm TYPE N ASPHALT (CLASS C170 OR C320 BINDER)	35
PRIMER SEAL	BITUMEN PRIME OVER BASE COURSE LAYER PRIOR TO ASPHALT	Y
BASE COURSE	SIZE 20mm CLASS 2 FINE CRUSHED ROCK COMPACTED TO A MINIMUM CBR VALUE OF 80 AND COMPACTED TO A MINIMUM DENSITY RATION OF 98% MODIFIED MAXIMUM DRY DENSITY (MMDD)	155
UPPER PAVEMENT TOTAL		190
SUB BASE	SIZE 20mm OR 40mm CLASS 3 OR CLASS 4 QUALITY CRUSHED ROCK WITH A MINIMUM CBR VALUE OF 30 AND BE COMPACTED TO A MINIMUM DENSITY RATION OF 97% MODIFIED MAXIMUM DRY DENSITY (MMDD)	140
TOTAL FLEXIBLE PAVEMENT DEPTH		330

NOTES:
 - REFER TO PAVEMENT PLAN FOR LOCATION OF PAVEMENT TYPES.
 - REFER TO GEOTECHNICAL REPORT 25C 0917-2-R2 PROVIDED BY GEOTECHNICAL TESTING SERVICES FOR FURTHER INFORMATION ON FLEXIBLE PAVEMENTS AND INCLUDED WITHIN SPECIFICATIONS.
 - SUB BASE TO EXTEND A MINIMUM OF 150mm BEHIND BACK OF KERB.

RIGID PAVEMENT DETAILS (WITHOUT SHOULDERS)

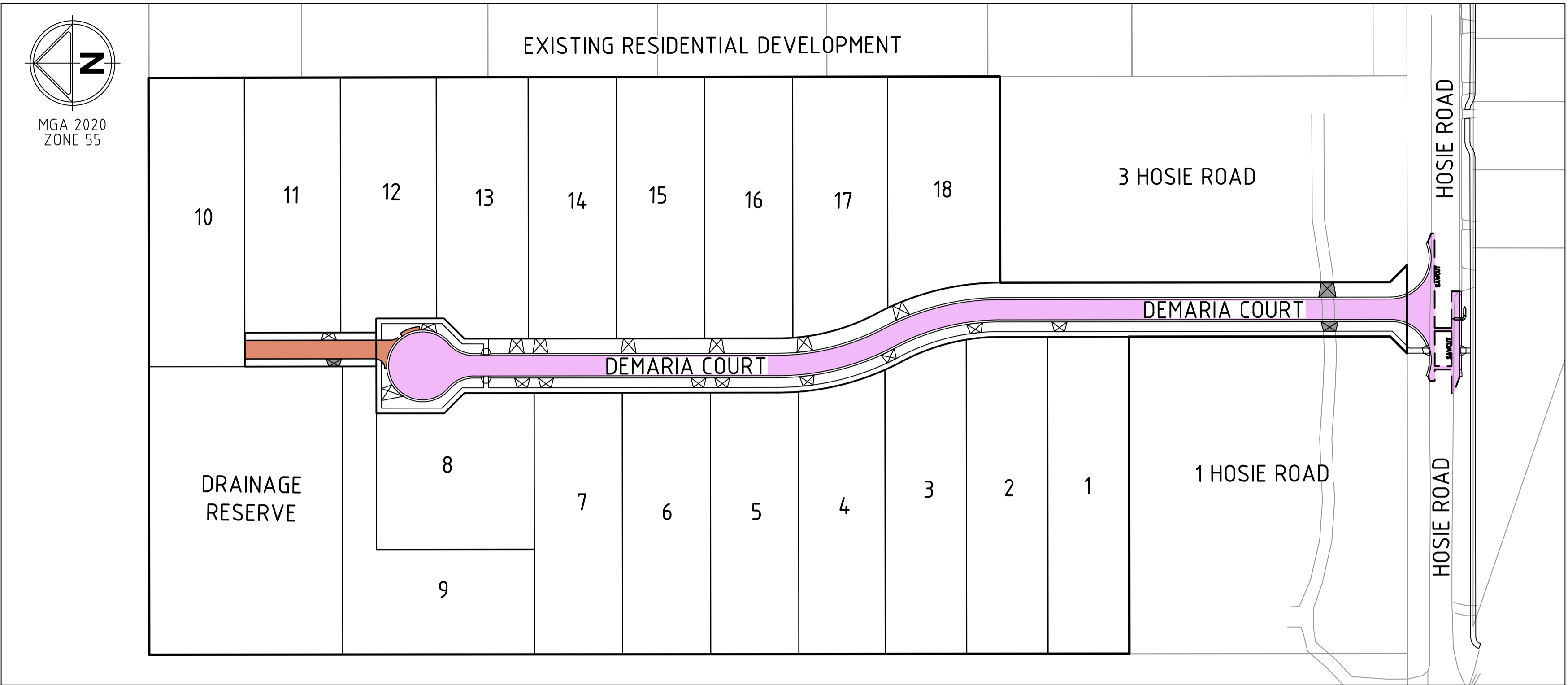
PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)
CONCRETE	32MPa CONCRETE WITH A DESIGN CBR VALUE OF 35 AND WITH A S192 MESH STEEL REINFORCEMENT	175
UPPER PAVEMENT TOTAL		175
SUB BASE	SIZE 20mm OR 40mm CLASS 3 OR CLASS 4 QUALITY FINE CRUSHED ROCK COMPACTED TO A MINIMUM CBR VALUE OF 30 AND BE COMPACTED TO A MINIMUM DENSITY RATION OF 96% MMDD.	100
TOTAL RIGID PAVEMENT DEPTH		275

NOTES:
 - REFER TO PAVEMENT PLAN FOR LOCATION OF PAVEMENT TYPES.
 - REFER TO GEOTECHNICAL REPORT 25C 0917-2-R2 PROVIDED BY GEOTECHNICAL TESTING SERVICES FOR FURTHER INFORMATION ON RIGID PAVEMENTS AND INCLUDED WITHIN SPECIFICATIONS.

ROAD NAME	TYPE
DEMARIA COURT	TYPE 1
SHARED DRIVEWAYS	CONCRETE

CONCRETE PAVEMENT NOTES:

- ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CCAA LITERATURE, OR VIC ROADS STANDARDS FOR NON RESIDENTIAL STREETS.
- ALL CONCRETE TO BE MINIMUM 32MPa COMPRESSIVE STRENGTH
- CONCRETE TO BE THOROUGHLY COMPACTED USING EITHER SURFACE AND/OR IMMERSION VIBRATORS, PARTICULARLY AROUND REINFORCEMENT AND IN CORNERS OF FORMS.
- PRIOR TO CASTING, THE UNBOUND GRANULAR SUBBASE MUST BE DAMP TO ENSURE NO EARLY "DRYING OUT" OF THE CONCRETE.
- CURING OF CONCRETE IS ESSENTIAL - IDEALLY BY MAINTAINING WET HESSIAN OR SEALING WITH PLASTIC SHEETING.
- SAW CUTTING OF CONCRETE SHOULD BE COMMENCED AS SOON AS CONCRETE PERMITS BY EXPERIENCED CONTRACTORS, BUT NO LATER THAN 12 HOURS AFTER POUR.
- ALL DOWELS TO BE GRADE 250R STEEL BARS, 450mm LONG AND PLACED AT 300mm CENTRES. REFER CCAA - "CONCRETE PAVEMENT DESIGN FOR RESIDENTIAL STREETS" FOR DOWEL DIAMETERS. DOWELS MUST BE ACCURATELY PLACED TO ENSURE THE JOINT DOES NOT "LOCK". INSERTION OF DOWELS DURING THE PLACING OF CONCRETE IS NOT ACCEPTABLE. DOWELS MUST BE SAWN AND NOT CROPPED.
- ALL JOINTS TO BE APPROPRIATELY SEALED TO RESIST THE INTRUSION OF SAND AND GRAVEL AND TO MINIMISE THE INGRESS OF WATER.



PAVEMENT DETAILS

THE PAVEMENT DESIGNS SHOWN HERE HAVE BEEN DESIGNED/PROVIDED BY GEOTECHNICAL TESTING SERVICES WHO ARE RESPONSIBLE FOR THE GEOTECHNICAL WORK ON THIS PROJECT. SPIIRE IS NOT RESPONSIBLE FOR THE WORK OF GEOTECHNICAL TESTING SERVICES

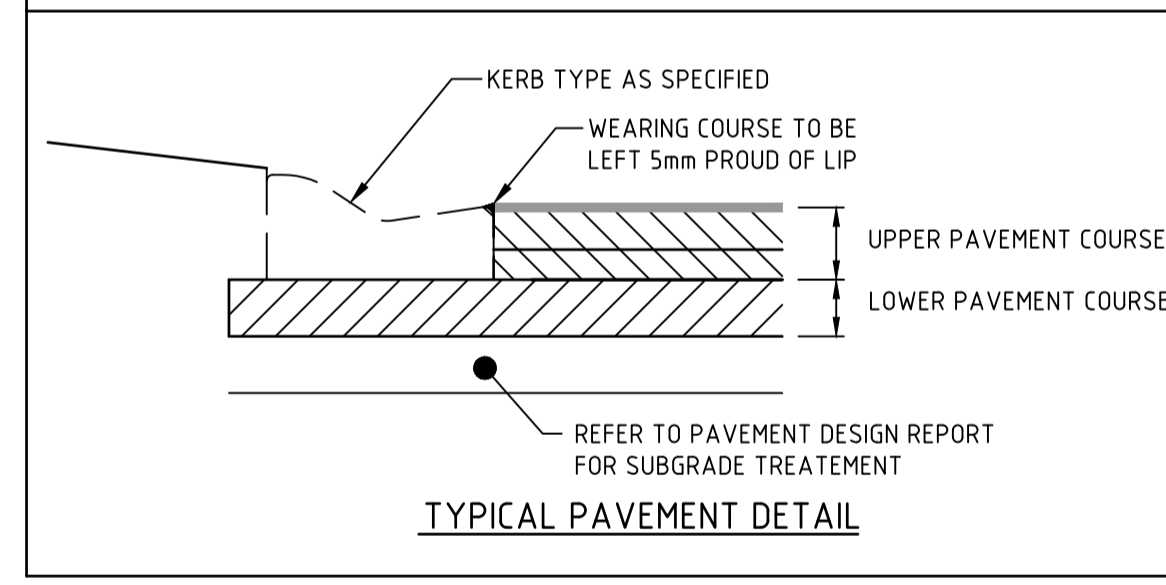
THE DESIGN HAS BEEN EXTRACTED FROM THE GEOTECHNICAL TESTING SERVICES REPORT ON "GEOTECHNICAL INVESTIGATION FOR HOSIE ROAD SHEPPARTON PTY LTD" THIS DOCUMENT SHOULD BE REVIEWED TO ENSURE THAT THE DESIGN HAS BEEN ACCURATELY REPRODUCED.

A COPY OF THE DOCUMENT HAS BEEN PROVIDED WITHIN THE CONTRACT SPECIFICATIONS.

SPIIRE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY, ADEQUACY OR APPROPRIATENESS OF THE GEOTECHNICAL WORK AND PAVEMENT DESIGNS.

ANY QUERIES IN RESPECT TO THE GEOTECHNICAL WORK AND PAVEMENT DESIGNS SHOULD BE ADDRESSED TO GEOTECHNICAL TESTING SERVICES AND COPIED TO SPIIRE.

TYPICAL FLEXIBLE PAVEMENT DETAIL



20mm 10mm TYPE N ASPHALT

MATERIAL

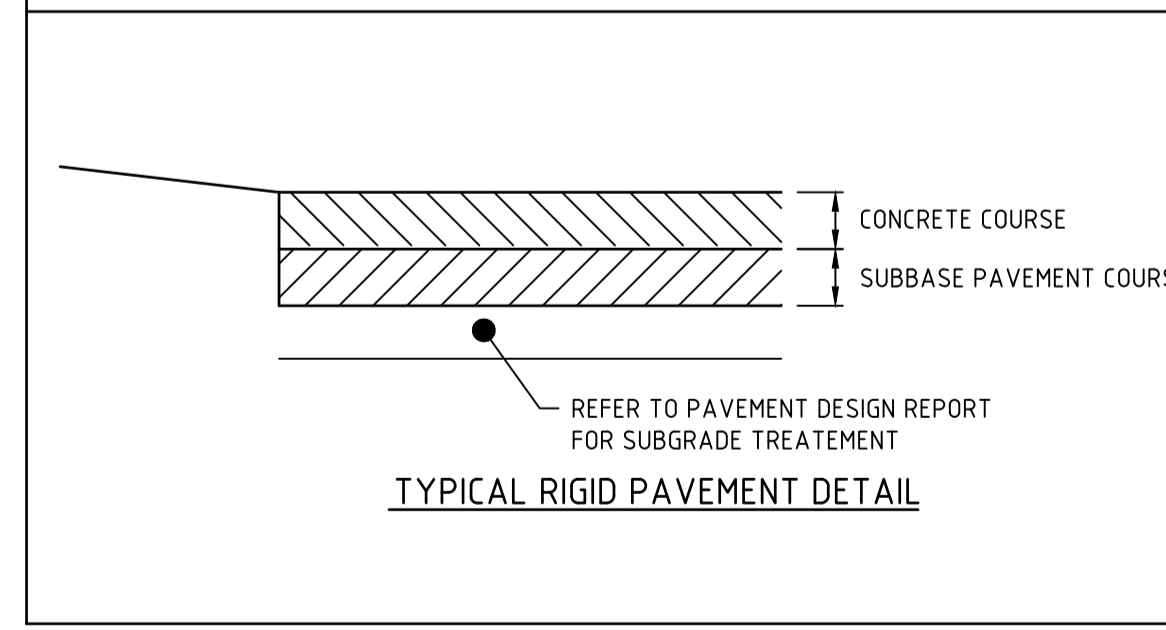
TYPE OF ASPHALT OR CLASS OF ROCK

NOMINAL SIZE OF ROCK

COMPACTED THICKNESS OF MATERIAL

NOMENCLATURE

TYPICAL RIGID PAVEMENT DETAIL



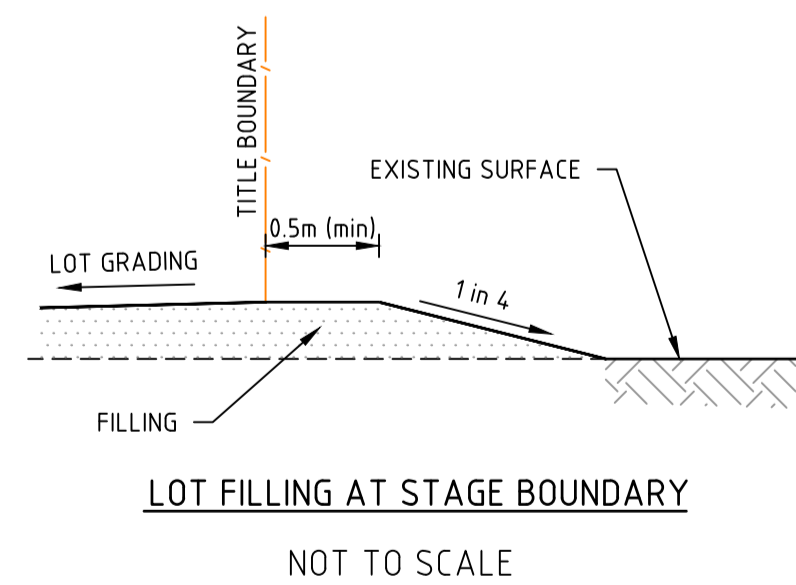
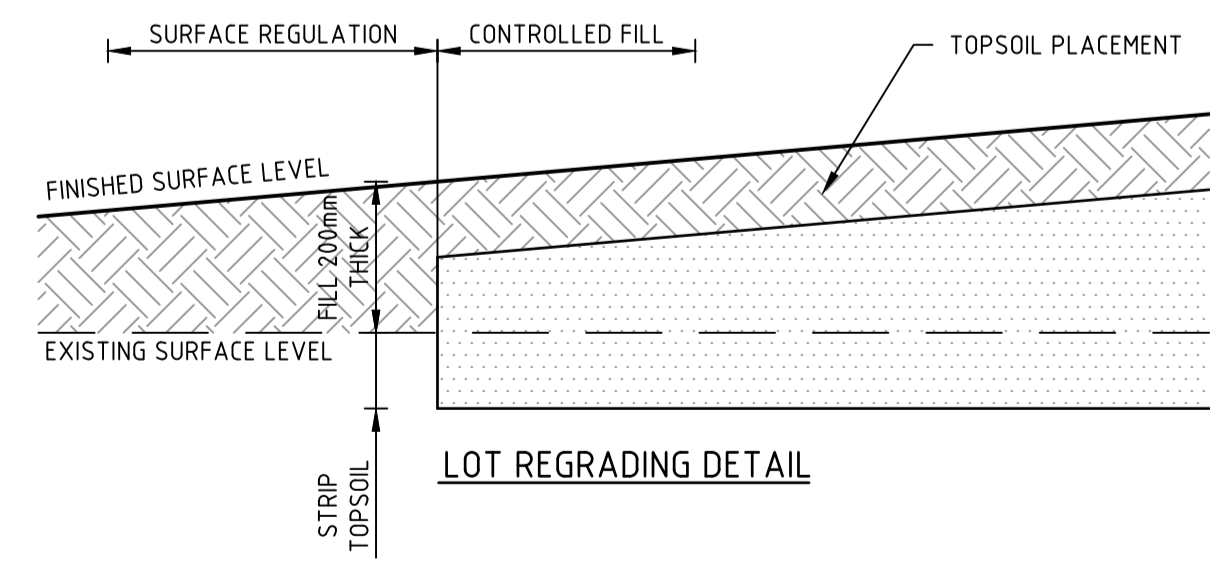
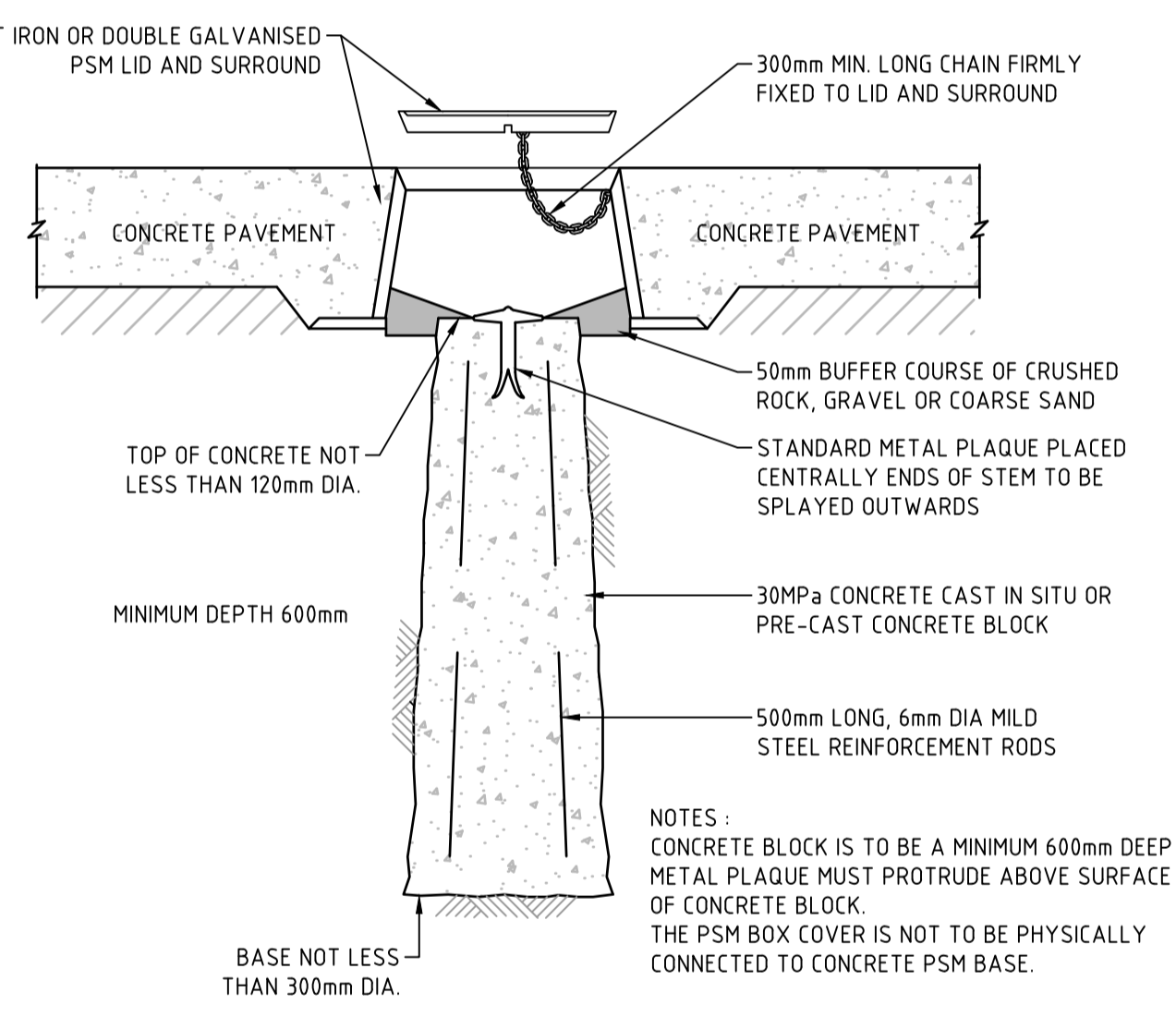
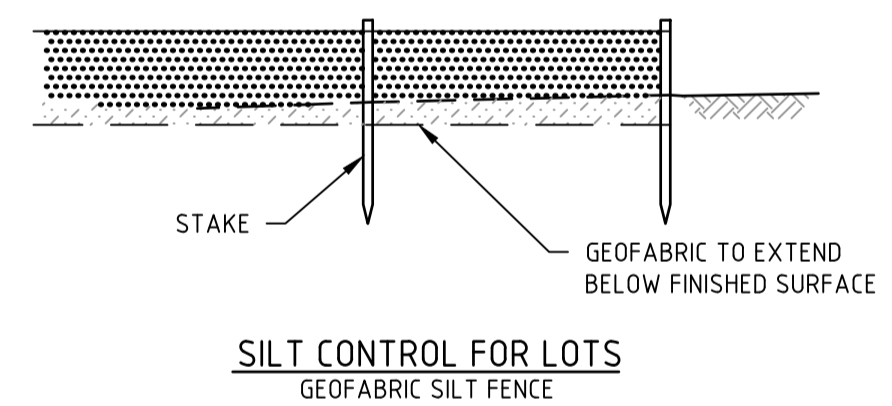
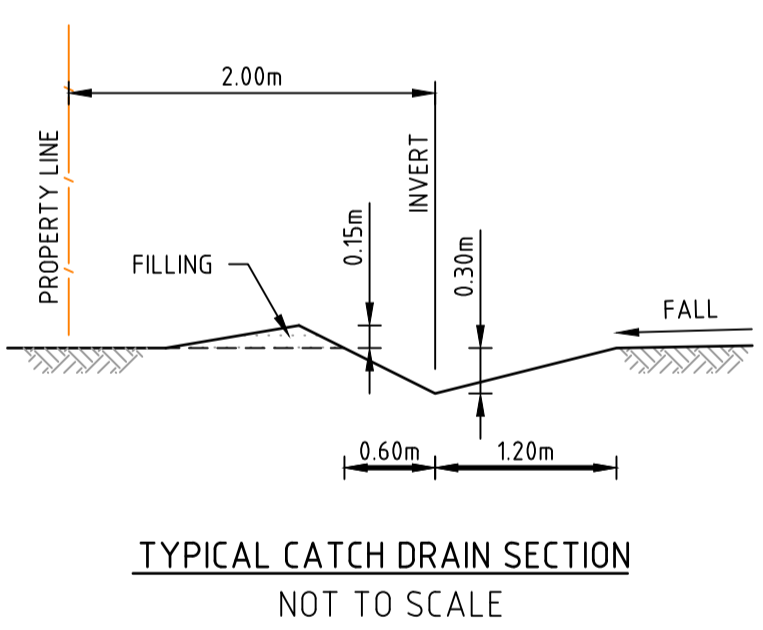
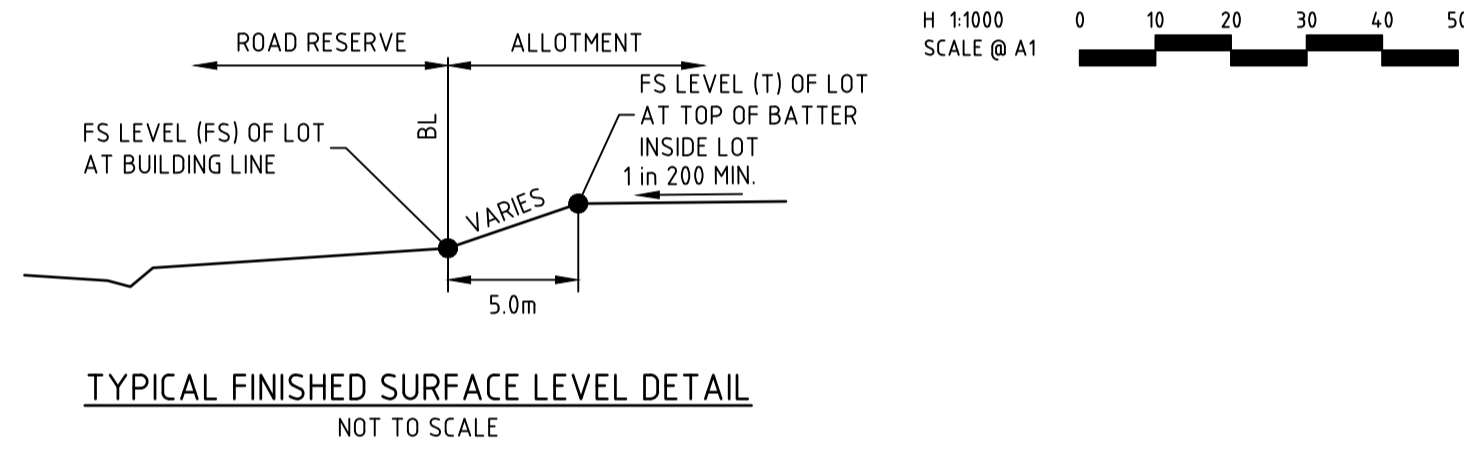
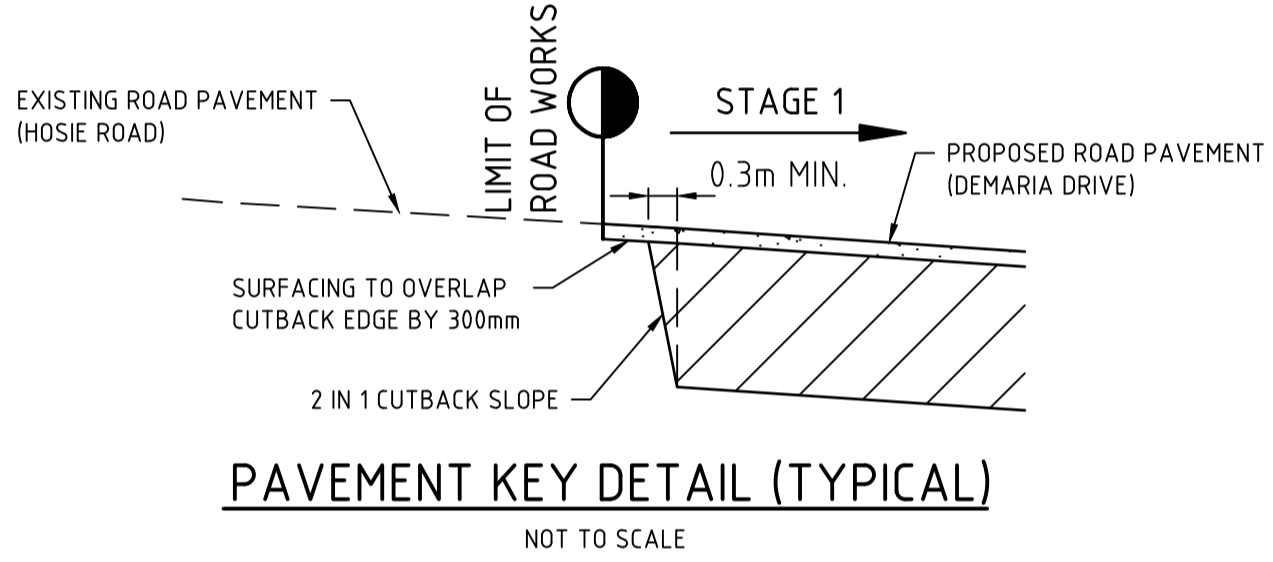
20mm 10mm CONCRETE

CONCRETE MIX - 32MPa

NOMINAL SIZE OF ROCK

COMPACTED THICKNESS OF MATERIAL

NOMENCLATURE



file name: 322906_001CR700.dwg, layout name: C3700, plotted by: Michael Ismail, file location: \\spire\shredder\322906_001CR700.dwg, plot date: 13/03/2026, 8:19 AM, Sheet: 14 of 17, Sheets

Rev	Amendments	Approved	Date
B	ISSUED FOR APPROVAL	A.A.	13/03/26
A	ISSUED TO CLIENT FOR REVIEW	A.A.	27/02/26

Scale

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Designed
M. ISMAIL

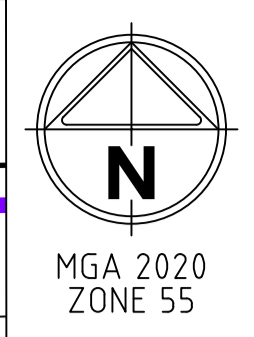
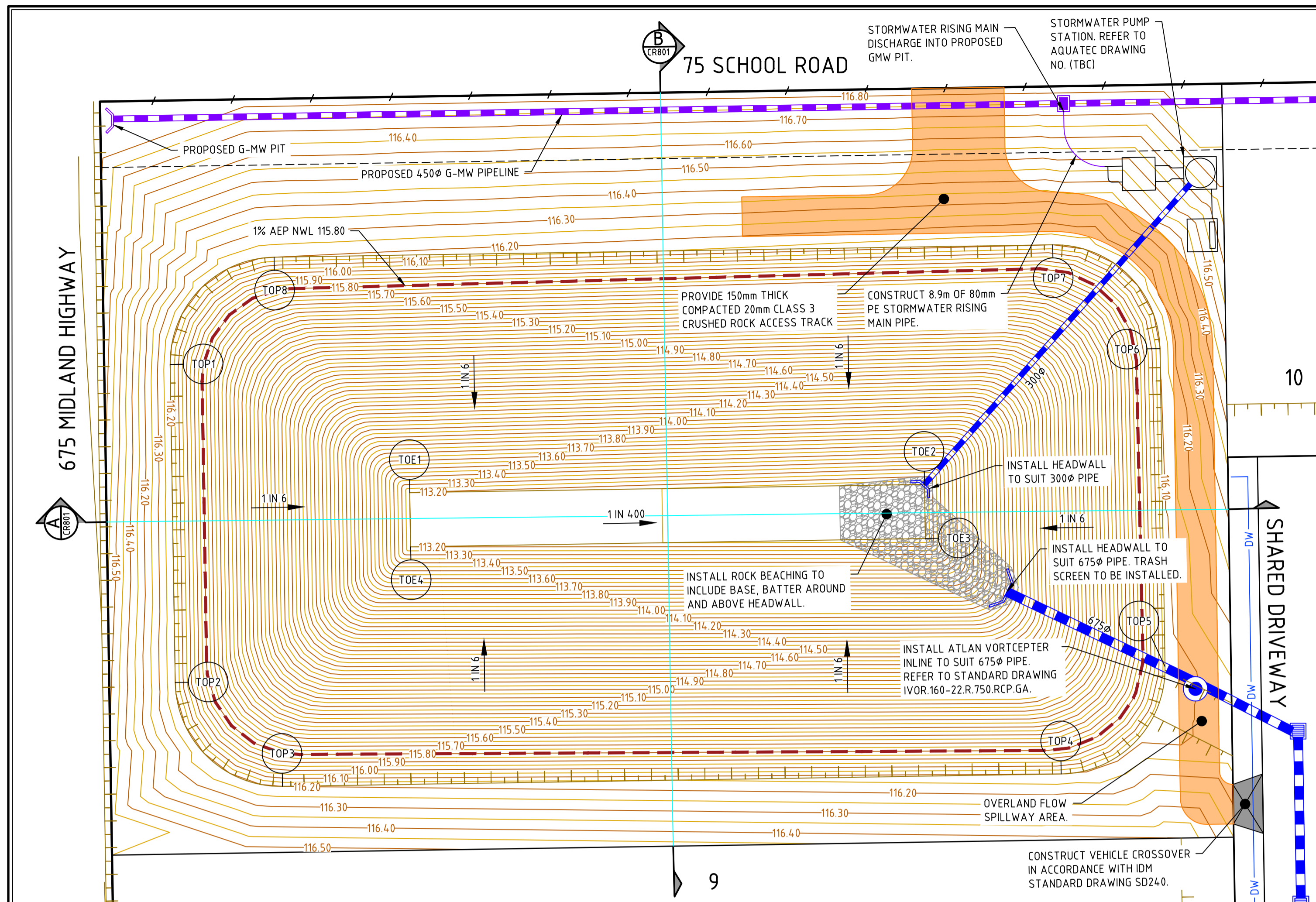
Authorised
A. ANDERSSON (PE0007863)

Checked
U. PAFFRATH

Date
 10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
 RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)**
**ROAD AND DRAINAGE
 PAVEMENT AND TYPICAL DETAILS**
 CITY OF GREATER SHEPPARTON
 HOSIE ROAD SHEPPARTON PTY LTD

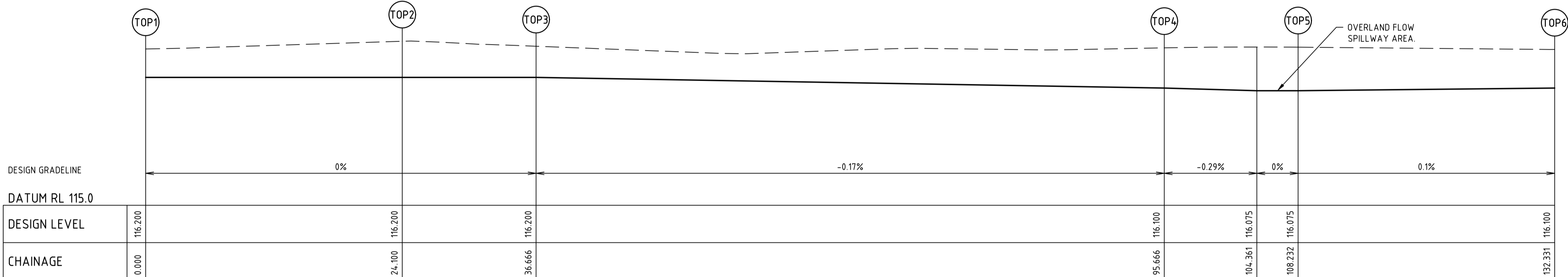
PRELIMINARY Dwg No **322906-001CR700** Rev **B**



DESIGN GRADELINE	-0.25%					0%		0.25%		0%	
DATUM RL 112.0											
DESIGN LEVEL	113.198	113.100	113.100	113.198	113.198						
CHAINAGE	0.000	39.000	43.000	82.099	86.198						

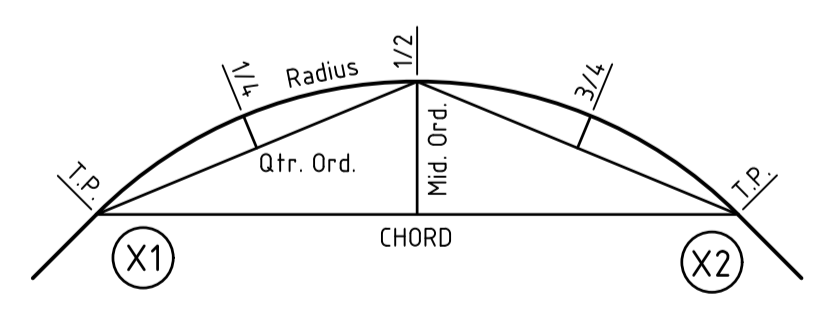
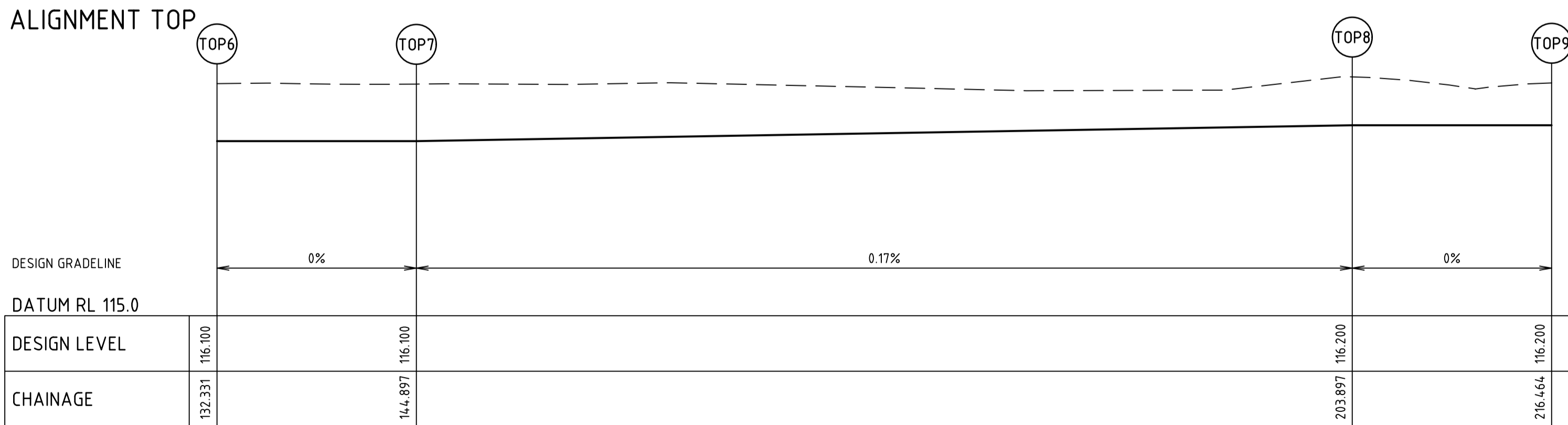
ALIGNMENT TOE

DRAINAGE RESERVE PLAN



ALIGNMENT TOP

POINT NO	EASTING	NORTHING	RL
TOP1	362924.163	5971070.679	116.200
3/4	362924.174	5971069.971	116.200
TOP2	362924.548	5971046.583	116.200
1/4	362925.206	5971043.531	116.200
1/2	362926.981	5971040.964	116.200
3/4	362929.604	5971039.272	116.200
TOP3	362932.675	5971038.712	116.200
TOP4	362991.667	5971039.654	116.100
1/4	362994.718	5971040.312	116.091
1/2	362997.286	5971042.087	116.082
3/4	362999.978	5971044.710	116.075
TOP5	362999.538	5971047.781	116.075
TOP6	362999.153	5971071.876	116.100
1/4	362998.496	5971074.927	116.100
1/2	362996.720	5971077.495	116.100
3/4	362994.098	5971079.187	116.100
TOP7	362991.027	5971079.747	116.100
1/2	362933.452	5971078.829	116.198
1/4	362932.743	5971078.818	116.199
TOP8	362932.034	5971078.806	116.200
TOP9	362924.163	5971070.679	116.200



BASIN SETOUT DETAIL

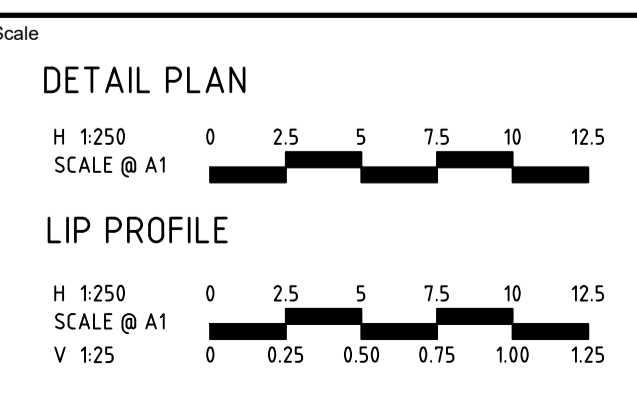
CURVE	RADIUS	ARC L	CHORD	MID ORD	QTR ORD
TOP2-TOP3	8.000	12.566	11.314	2.343	-0.609
TOP4-TOP5	8.000	12.566	11.314	2.343	-0.609
TOP6-TOP7	8.000	12.566	11.314	2.343	-0.609
TOP8-TOP1	8.000	-203.897	-2.820	0.125	-0.031

ALIGNMENT TOE

POINT NO	EASTING	NORTHING	RL
TOE1	362942.320	5971060.968	113.198
TOE2	362981.315	5971061.590	113.100
TOE3	362981.381	5971057.492	113.100
TOE4	362942.386	5971056.869	113.198
TOE5	362942.320	5971060.968	113.198

file name: 322906_001CR800.dwg, layout name: CR800, plotted by: Michael Ismail, file location: \\spire\shedd\322906\001CR800.dwg, date: 13/03/2026, 8:19 AM, sheet: 15 of 17, sheets

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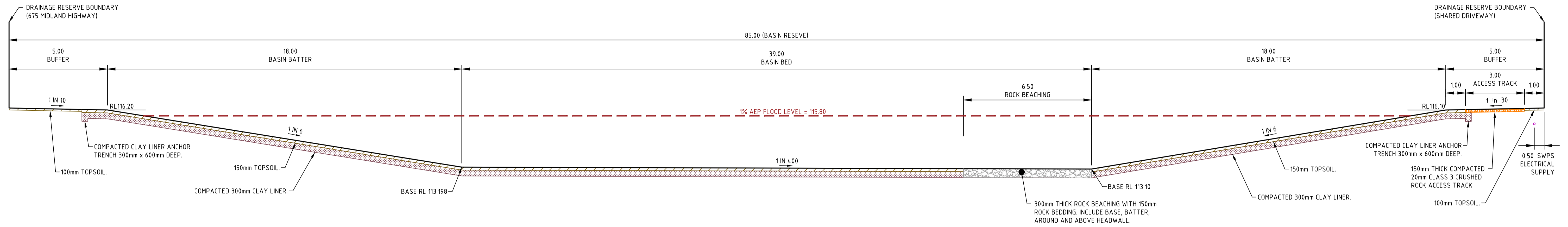
Designed
M. ISMAIL
Authorised
A. ANDERSSON (PE0007863)

Checked
U. PAFFRATH
Date
10/03/2026

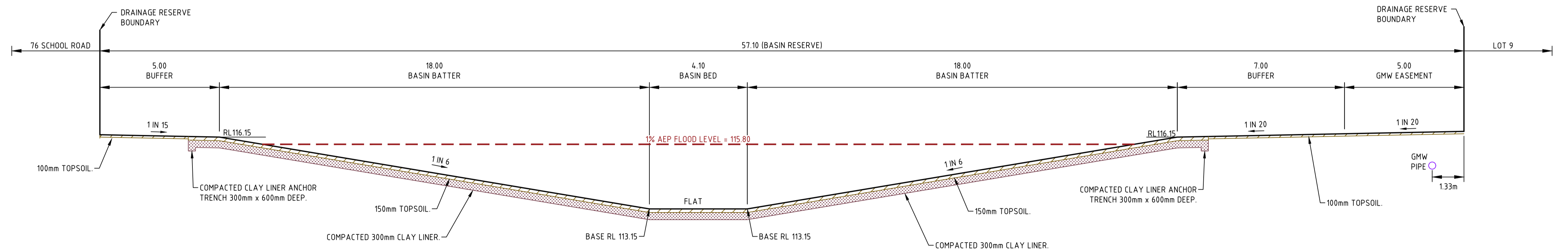
1 - 3 HOSIE ROAD SHEPPARTON EAST
RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
ROAD AND DRAINAGE
BASIN DESIGN PLAN & LONG SECTIONS
CITY OF GREATER SHEPPARTON
HOSIE ROAD SHEPPARTON PTY LTD

PRELIMINARY Rev No 13

322906-001CR800 B



TYPICAL CROSS SECTION A
DRAINAGE RESERVE
NOT TO SCALE



TYPICAL CROSS SECTION B
DRAINAGE RESERVE
NOT TO SCALE

BASIN NOTES:

1. CLAY LINER TO BE CONTINUOUS ACROSS INVERT AND SIDE BATTERS AND EXTENDED TO THE TOP OF INTERIOR SLOPE. TERMINATE IN AN ANCHOR TRENCH AT CREST TO PREVENT UPLIFT/BYPASS.
2. PROVIDE (GCL'S) LINEAR PROTECTION AROUND STRUCTURES (INLETS/OUTLETS) AND SEAL. PENETRATIONS AS PER MANUFACTURERS SPECIFICATIONS.
3. MINIMUM CLAY LINER: 300mm COMPACTED IN $\leq 150\text{mm}$ LIFTS TO ACHIEVE $K \leq 1 \times 10^{-9} \text{ m/s}$.



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VICTORIA 3630 AUSTRALIA T 61 3 5849 1000
spiire.com.au ABN 55 050 029 635

Designed
M. ISMAIL

Authorised
A. ANDERSSON (PE0007863)

Checked
U. PAFFRATH

Date
10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
ROAD AND DRAINAGE
BASIN CROSS SECTIONS
CITY OF GREATER SHEPPARTON
HOSIE ROAD SHEPPARTON PTY LTD**

PRELIMINARY Dwg No **322906-001CR801** Rev **B**

file name: 322906_001CR801.dwg, layout name: CR801, plotted by: Michael Ismail, file location: \\spiire\shared\322906\001CR801\A1.dwg, plot date: 13/03/2026, 8:19 AM, Sheet: 16 of 17, Sheets

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B	ISSUED FOR APPROVAL	A.A.	13/03/26
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BULK EARTHWORKS DEPTH RANGE

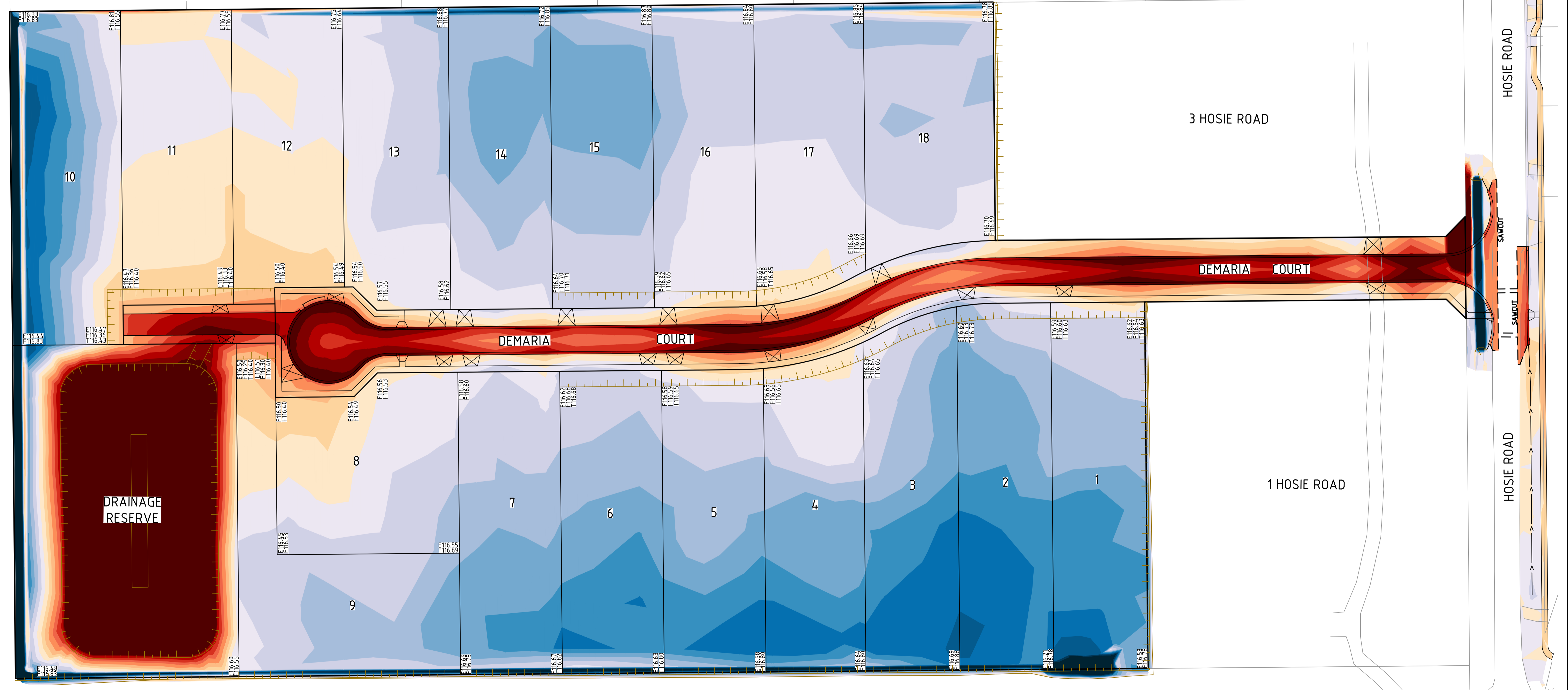
EARTHWORKS DEPTH (m)	COLOUR
CUT GREATER THAN -0.40	
-0.40 TO -0.35	
-0.35 TO -0.30	
-0.30 TO -0.25	
-0.25 TO -0.20	
-0.20 TO -0.15	
-0.15 TO -0.10	
-0.10 TO -0.05	
-0.05 TO 0.00	
0.00 TO +0.05	
+0.05 TO +0.10	
+0.10 TO +0.15	
+0.15 TO +0.20	
+0.20 TO +0.25	
+0.25 TO +0.30	
+0.30 TO +0.35	
+0.35 TO +0.40	
FILL GREATER THAN +0.40	



EARTHWORKS NOTE: CUT / FILL LEVELS BASED ON FEATURE SURVEY LEVELS PROVIDED AND DESIGN FINISHED SURFACE LEVELS AND ARE CONSIDERED INDICATIVE ONLY. BULK EARTHWORKS LEVELS SHOWN ON THIS PLAN ARE INTENDED FOR THE PURPOSE OF DIRECTING CIVIL WORKS CONSTRUCTION. IT IS RECOMMENDED THAT INDIVIDUAL LAND OWNERS HAVE ACCURATE SITE SPECIFIC CUT / FILL LEVELS DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEERS ONCE CIVIL WORKS ARE COMPLETED AND PRIOR TO COMMENCEMENT OF BUILDING CONSTRUCTION.

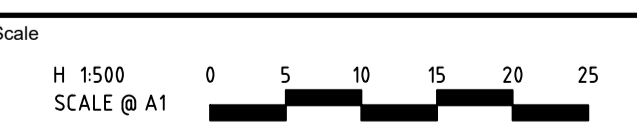
PLAN TO BE READ IN CONJUNCTION WITH ROAD AND DRAINAGE CIVIL PLAN SET.

EXISTING RESIDENTIAL DEVELOPMENT



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 file:///C:/Users/322906/OneDrive/Desktop/322906_001CR900.dwg layout sheet 17 of 17 sheets
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 VICTORIA 3630 AUSTRALIA T 61 3 5849 1000
 spiire.com.au ABN 55 050 029 635

Designed
M. ISMAIL
 Authorised
A. ANDERSSON (PE0007863)

Checked
U. PAFFRATH
 Date
 10/03/2026

**1 - 3 HOSIE ROAD SHEPPARTON EAST
 RESIDENTIAL SUBDIVISION (PERMIT NO. 2025-49/A)
 ROAD AND DRAINAGE
 BULK EARTHWORKS PLAN
 CITY OF GREATER SHEPPARTON
 HOSIE ROAD SHEPPARTON PTY LTD**

PRELIMINARY Dwg No **322906-001CR900** Rev **B**